

# CONSTRUCTION PLANS

## FOR

# BRYAN-WEST FAMILY DOLLAR

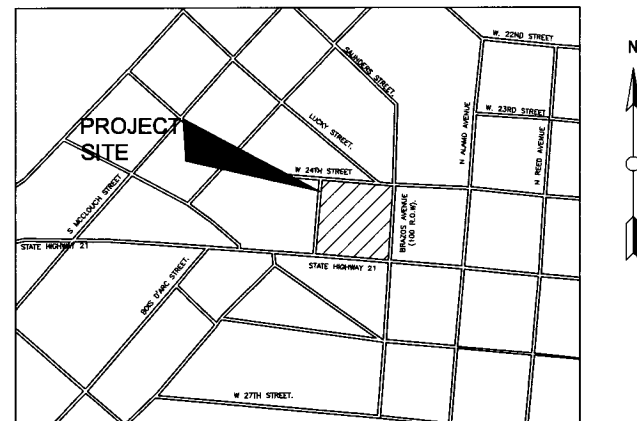
# DEVELOPMENT

## CITY OF BRYAN, BRAZOS COUNTY, TX

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### GOVERNING TECHNICAL SPECIFICATIONS

CITY OF BRYAN ENGINEERING CONSTRUCTION STANDARDS SHALL GOVERN. ADDITIONAL GOVERNING TECHNICAL SPECIFICATIONS FOR CONSTRUCTION IN CITY OF BRYAN WILL BE THE LATEST EDITION OF THE TXDOT STANDARD "STANDARD SPECIFICATIONS CONSTRUCTION OF HIGHWAYS, STREET AND BRIDGES, PLUS ANY OTHER TXDOT SPECIFICATIONS REFERENCED HEREIN.

### NOTICE TO CONTRACTOR: ! ATTENTION !

1. THE CONTRACTOR SHALL NOTIFY THE CITY OF BRYAN ENGINEERING DEPT., A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. THE FOLLOWING ITEMS SHALL BE COMPLETED PRIOR TO START OF CONSTRUCTION:
  - THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL CITY, STATE AND FEDERAL PERMITS.
  - PLEASE FOLLOW CITY DESIGN CRITERIA FOR WATER & SEWER REQUIREMENTS.
  - CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE EXISTING UTILITIES BOTH HORIZONTAL AND VERTICAL PRIOR TO ANY CONSTRUCTION ACTIVITIES.
  - ALL EROSION CONTROL SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL UTILIZE THE MOST CURRENT BEST MANAGEMENT PRACTICES (BMP'S) DETAILS FOR PREVENTION AND CONTROL OF EROSION.
  - EROSION CONTROL AND DETAILS PROVIDED HEREIN SHALL BE A MINIMUM.
  - ALL AREAS DISTURBED BY CONSTRUCTION WILL BE STABILIZED WITH EITHER MULCH OR PERMANENT VEGETATIVE OR PAVEMENT COVER WITHIN 2 DAYS OF BEING BROUGHT TO FINAL GRADE. FINISHED SLOPES ON PUBLIC RIGHT-OF-WAY AND EASEMENTS SHALL NOT BE STEEPER THAN 3:1. ALL SLOPES STEEPER THAN 3:1 SHALL BE HYDRO-MULCHED AND MAINTAINED BY THE CONTRACTOR UNTIL GRASS COVERS ALL PARTS OF THE SLOPE.
  - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
  - CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT PAVEMENT.
  - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

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No.	Revision/Issue	Date

CLIENT ADDRESS  
BRYAN-WEST GZX DEV PARTNERS, LLC  
35 JASPER'S PLACE  
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PRINT NAME AND ADDRESS  
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**ENGINEERING, INC.**  
Civil Engineers  
320 DECKER SQUARE  
IRVING, TEXAS 75062  
TEL: (972) 717-0100 FAX: (972) 717-0111  
TYPE No.: F-9104

BRYAN FAMILY DOLLAR STORE  
DEVELOPMENT  
CITY OF BRYAN, BRAZOS COUNTY, TX

**COVER SHEET**



August 19, 2015

*David H. Reck*

CHECKED BY  
NM  
DHR JOB No.  
D13-011  
ISSUE DATE: 03/30/2015  
SHEET  
**C-1-0**

CITY OF BRYAN  
DEPARTMENT OF PUBLIC WORKS-TRANSPORTATION DIVISION

**GENERAL TRAFFIC NOTES**

- CONTRACTOR OR DEVELOPER'S ENGINEER SHALL PREPARE A TRAFFIC CONTROL PLAN FOR THE CONSTRUCTION WORK ZONE SIGNING, BARRICADING AND PAVEMENT MARKING FOR THE SAFE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION WITHIN EXISTING STREETS AND PUBLIC RIGHT-OF-WAY. PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY OF BRYAN, DEPARTMENT OF PUBLIC WORKS-TRANSPORTATION DIVISION AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC STREET RIGHT-OF-WAY. CONTACT ENGINEERING SERVICES AT (979) 209-5030 (OFFICE), OR BY FAX AT (979) 209-5035. BARRICADES, TEMPORARY PAVEMENT MARKINGS, AND SIGNS REQUIRED FOR SAFE CONTROL OF TRAFFIC, AS DEPICTED IN THE APPROVED TRAFFIC CONTROL PLAN, SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE COMPLETION AND ACCEPTANCE OF ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- ELECTRONIC ARROW DISPLAYS ARE REQUIRED FOR ALL LANE CLOSURES ON RIVERSIDE DRIVE AND ON O'CONNOR BOULEVARD. ARROW DISPLAYS SHALL BE PANEL TYPE B OR C CONFORMING TO THE LATEST EDITION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, SECTION 6F-3, AND SHALL BE MAINTAINED IN GOOD WORKING ORDER.
- NO WORK SHALL COMMENCE WITHIN EXISTING STREET RIGHT-OF-WAY WITHOUT AN APPROVED TRAFFIC CONTROL PLAN. CONTRACTOR SHALL NOTIFY THE CITY OF BRYAN, DEPARTMENT OF PUBLIC WORKS-TRANSPORTATION DIVISION AT LEAST TWO (2) DAYS PRIOR TO BEGINNING WORK WITHIN THE RIGHT-OF-WAY, OR BEFORE PERFORMING ANY WORK WHICH WILL OBSTRUCT OR IMPEDE TO NORMAL FLOW OF TRAFFIC. CONTACT ENGINEERING SERVICES AT (979) 209-5030 (OFFICE), OR BY FAX AT (979) 209-5035.
- CONTRACTOR SHALL NOT UNLOAD OR STORE MATERIALS, PERMIT WORKERS TO PARK, NOR PARK EQUIPMENT WITHIN THE STREET RIGHT-OF-WAY WHERE STREET IS OPEN TO PUBLIC TRAVEL WITHOUT PRIOR APPROVAL OF THE CITY OF BRYAN, DEPARTMENT OF PUBLIC WORKS-TRANSPORTATION DIVISION.
- CONTRACTOR SHALL NOT ENCRoACH UPON, NOR PERFORM ANY WORK WITHIN HIGHWAY RIGHT-OF-WAY WITHOUT FIRST SECURING NECESSARY PERMITS FROM THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT). CONTACT THE TxDOT DALLAS DISTRICT NORTHWEST ASSISTANT AREA ENGINEER, MR. MAURICE PITTMAN, AT (972-478-8747).
- DEVELOPER (OR THE CONTRACTOR ACTING AS HIS AGENT) IS RESPONSIBLE FOR CONTRACTING TXU FOR THE RELOCATION OF EXISTING STREET LIGHTING AS NECESSARY FOR CONSTRUCTION OF THE IMPROVEMENTS. LIGHTING STANDARD(S) SHALL BE RELOCATED TO LOCATION(S) INDICATED ON THE APPROVED CONSTRUCTION DRAWINGS, BUT, IN NO CASE SHALL THE FOUNDATION BE LOCATED LESS THAN TWO FEET (2') CLEAR OF THE NEAREST BACK OF CURB. NO COSTS RELATED TO THE RELOCATION OF STREET LIGHTING SHALL BE THE RESPONSIBILITY OF THE CITY OF BRYAN UNLESS SPECIFICALLY PROVIDED FOR IN THE CONTRACT DOCUMENTS.
- DEVELOPER IS RESPONSIBLE FOR CONTRACTING WITH TXU FOR THE INSTALLATION OF STREET LIGHTING AS INDICATED ON THE DRAWINGS. NO COSTS RELATED TO THE INSTALLATION OF STREET LIGHTS SHALL BE THE RESPONSIBILITY OF THE CITY OF BRYAN EXCEPTING THE COST OF ELECTRIC POWER FOR THE STREET LIGHTS AND CONTINUING MAINTENANCE OF THE LIGHTING AFTER INSTALLATION AND ACCEPTANCE BY THE CITY.
- THE CITY OF BRYAN, PUBLIC WORKS & TRANSPORTATION DEPARTMENT SHALL FURNISH AND INSTALL ALL PERMANENT TRAFFIC SIGNS, INCLUDING STREET NAME SIGNS FOR PUBLIC STREETS ONLY, AND PAVEMENT MARKINGS, INCLUDING TRAFFIC BUTTONS, ON PUBLIC STREETS ONLY AT NO COST TO THE DEVELOPER OR CONTRACTOR. STOP SIGNS FOR TRAFFIC CONTROL OF DRIVEWAY CONNECTIONS TO PUBLIC STREETS SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER AND AT DEVELOPER'S EXPENSE AND SHALL BE 30" SIZE FABRICATED WITH "H-INTENSITY PRISMATIC" (HIP) GRADE REFLECTIVE SHEETING OR BETTER. PLACEMENT AND INSTALLATION SHALL CONFORM TO THE 2008 TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MUTCD). OTHER TRAFFIC REGULATORY AND/OR WARNING AND/OR GUIDE SIGNS AND PAVEMENT MARKINGS ON PRIVATE DRIVES AS REQUIRED BY THE CITY SHALL BE FURNISHED AND INSTALLED AT DEVELOPER'S EXPENSE, AND SHALL CONFORM TO THE TEXAS MUTCD.
- CONCRETE MEDIAN PAVERS (A.K.A. "BRICK PAVERS") TO BE INSTALLED AS PART OF THIS CONSTRUCTION SHALL CONFORM TO THE CITY OF BRYAN SPECIFICATION AND DETAILS FOR "CONCRETE PAVERS". CONTACT THE CITY OF BRYAN, CAPITAL IMPROVEMENT PROJECTS DEPARTMENT ENGINEERING DEPARTMENT AT 972-721-2811. CONCRETE "BRICK" PAVERS ARE REQUIRED FOR ALL MEDIANS SIX FEET (6') IN WIDTH OR LESS, MEASURED BETWEEN BACKS OF CURB, AND IN ALL TRAFFIC ISLANDS IN AREAS NOT COVERED BY CONCRETE, UNLESS OTHERWISE SPECIFICALLY DESIGNATED ON THE CONSTRUCTION DRAWINGS OR APPROVED BY THE CITY.
- ALL NEW MEDIAN OPENINGS SHALL INCLUDE INSTALLATION OF ONE (1) EACH 4-INCH DIAMETER PVC CONDUIT SLEEVE FOR IRRIGATION PIPING, ONE (1) EACH 3-INCH DIAMETER PVC CONDUIT SLEEVE FOR IRRIGATION CIRCUITS, ONE (1) 3-INCH DIAMETER PVC CONDUIT SLEEVE FOR STREET LIGHTING CIRCUITS, AND ONE (1) 3-INCH DIAMETER PVC CONDUIT SLEEVE FOR TRAFFIC SIGNAL CIRCUITS, UNLESS OTHERWISE APPROVED AND INDICATED ON THE DRAWINGS. CONDUIT SLEEVES SHALL BE SCHEDULE 40 PVC PIPE WITH SOLVENT-WELD JOINTS, BURIED 24 INCHES BELOW FINAL GRADE LINE OF PARKWAY OR TOP OF PAVEMENT. CONDUIT SLEEVES SHALL EXTEND FIFTEEN (15) FEET BEYOND THE POINT OF NOSE OF MEDIAN, UNLESS OTHERWISE NOTED ON THE DRAWINGS OR APPROVED BY THE CITY. CONDUIT SLEEVES SHALL BE INSTALLED BEFORE FINAL COMPACTION OF THE PAVEMENT SUBGRADE.
- IF INDICATED ON THE DRAWINGS, CONDUIT SHALL BE REQUIRED FOR PROVIDING ELECTRIC SERVICE TO THE MEDIANS FROM THE ROADWAY BORDER AREA, AND TO PROVIDE CONTINUOUS CONDUIT FOR THE STREET LIGHTING INSTALLATION. CONDUIT SHALL BE 2-INCH DIAMETER SCHEDULE 40 PVC WITH SOLVENT-WELD JOINTS, BURIED 24 INCHES BELOW FINAL GRADE OF PARKWAY OR TOP OF PAVEMENT, AT THE LOCATIONS AND ALIGNMENT INDICATED ON THE DRAWINGS. CONDUIT SHALL BE INSTALLED BEFORE FINAL COMPACTION OF THE PAVEMENT SUBGRADE.
- CONTRACTOR SHALL TRIM OR PRUNE ALL SHRUBS AND TREES WITHIN THE LIMITS OF THE WORK ZONE TO PROVIDE AND MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 14'-8" ABOVE THE ROADWAY SURFACE AND 7'-4" ABOVE THE SIDEWALK. CONTRACTOR SHALL PROVIDE AND MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 2'-0" FROM THE OUTSIDE EDGE OF SIDEWALKS OR 5'-0" FROM THE CURB OR OUTSIDE EDGE OF ROADWAY PAVEMENT UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION DRAWINGS OR DIRECTED BY CITY REPRESENTATIVE. NO TREE OR LARGE SHRUB MAY BE PLANNED CLOSER THAN TEN FEET (10') CLEAR FROM THE FACE OF CURB OR EDGE OF ROADWAY PAVEMENT OF A PUBLIC STREET UNLESS OTHERWISE SHOWN ON A LANDSCAPE PLAN APPROVED BY THE DEPARTMENT OF PUBLIC WORKS & TRANSPORTATION.
- CONTRACTOR SHALL CONTACT THE MR. KELLY LINDIG, VICE- PRESIDENT, DFW FREEPORT PROPERTY OWNERS ASSOCIATION, INC. AT 214-855-6009 PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY TO ASCERTAIN THE LOCATION OF LANDSCAPE IRRIGATION LINES AND APPURTENANCES, THE DISPOSITION OF ALL TREES, SHRUBS, OTHER PLANTS, TURF, AND ALL OTHER IMPROVEMENTS INSTALLED AND MAINTAINED BY THE ASSOCIATION. THE CONTRACTOR SHALL RESTORE ALL LANDSCAPING AND IRRIGATION FACILITIES TO THE SATISFACTION OF THE ASSOCIATION.

**GENERAL NOTES****ALL CONSTRUCTION**

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE CITY OF BRYAN'S STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS (LATEST REVISIONS) OR, IF THERE IS NO APPLICABLE STANDARD OR DETAIL, THEN REFER TO THE CURRENT EDITION OF NCTCOG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL LOCATION DIMENSIONS, VERTICAL CONTROL ELEVATIONS, AND PROPERTY LINE LOCATION PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING WITH CONSTRUCTION WORK.
- TEMPORARY ADDRESS WITH MIN. 8" LETTERING TO BE VISIBLE FROM HWY FRONTAGE AND MEADOWLARK DURING CONSTRUCTION.
- FIRE LANE TO BE IN PLACE PRIOR TO VERTICAL CONSTRUCTION. FIRE LANE TO BE MAINTAINED FREE OF OBSTRUCTION THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER, THE PROJECT ENGINEER OR HIS REPRESENTATIVE, AND THE CITY ENGINEER OR HIS REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
- THE LOCATIONS OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS AND ARE THEREFORE SHOWN AS APPROXIMATE. WHILE EVERY EFFORT HAS BEEN MADE TO SHOW ALL UTILITIES IN THE IMMEDIATE LIMITS OF CONSTRUCTION, NOT ALL UTILITIES (PUBLIC AND PRIVATE) MAY BE SHOWN. THEREFORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL UTILITY COMPANIES WITH JURISDICTION IN THE AREA OF CONSTRUCTION TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT AND TO REQUEST EXACT LOCATION IDENTIFICATION OF ALL UTILITIES NO LESS THAN 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN WRITTEN ACKNOWLEDGEMENT AND APPROVAL FROM SUCH UTILITY COMPANIES AUTHORIZING THE CONTRACTOR TO PROCEED WITH THE PROPOSED CONSTRUCTION WORK. THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE SUPPORT, PROTECTION, AND/OR TEMPORARY RELOCATION OF ALL UTILITIES AND/OR STRUCTURES (BOTH ABOVE AND BELOW GROUND) DURING CONSTRUCTION. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.
- CONTRACTOR OR DEVELOPER'S ENGINEER SHALL PREPARE A TRAFFIC CONTROL PLAN FOR THE SIGNING, BARRICADING AND PAVEMENT MARKING FOR THE SAFE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION WITHIN EXISTING STREETS AND PUBLIC RIGHT-OF-WAY. PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY OF BRYAN, DEPARTMENT OF TRAFFIC & TRANSPORTATION AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC STREET RIGHT-OF-WAY. CONTACT MR. ROBBY ORTIZ AT (972) 721-2646 OR (972) 721-2268, OR BY FAX AT (972) 721-3720. BARRICADES, TEMPORARY PAVEMENT MARKINGS, AND WORK ZONE SIGNS REQUIRED FOR SAFE CONTROL OF TRAFFIC, AS DEPICTED ON THE APPROVED TRAFFIC CONTROL PLAN, SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE COMPLETION AND ACCEPTANCE OF ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- NO WORK SHALL COMMENCE WITHIN EXISTING STREET RIGHT-OF-WAY WITHOUT AN APPROVED TRAFFIC CONTROL PLAN. CONTRACTOR SHALL NOTIFY THE CITY OF LANCASTER, PUBLIC WORKS AND TRANSPORTATION DEPARTMENT (972-721-2946) AT LEAST TWO (2) BUSINESS DAYS PRIOR TO BEGINNING WORK WITH THE RIGHT-OF-WAY, OR BEFORE PERFORMING ANY WORK WHICH WILL OBSTRUCT OR IMPEDE THE NORMAL FLOW OF TRAFFIC.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THREE-WAY CONTRACTS, AND PERFORMANCE/ PAYMENT/MAINTENANCE BONDS AND INSURANCE CERTIFICATES SHALL BE SUBMITTED TO THE CITY AS REQUIRED. CONTACT CAPITAL IMPROVEMENT PROGRAM DEPARTMENT (CIP) AT (972) 721-2811 FOR ADDITIONAL INFORMATION. FORMS ARE AVAILABLE AT: [HTTP://CITYOFBRYAN.ORG/CIP/DOWNLOADS.HTML](http://cityofbryan.org/cip/download.ods.html).
- THE CONTRACTOR SHALL PRESERVE, PROTECT, REMOVE AND/OR REPLACE ANY SHRUBS, HEDGES OR OTHER LANDSCAPING IN OR NEAR THE LIMITS OF CONSTRUCTION.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUALLY MAINTAINED. THE CONTRACTOR SHALL KEEP STREETS AND SIDEWALKS ADJACENT TO THE LIMITS OF CONSTRUCTION FREE OF MUD AND DEBRIS.
- CONTRACTOR SHALL NOT UNLOAD OR STORE MATERIALS, PERMIT WORKERS TO PARK, PARK EQUIPMENT, NOR PLACE REFUSE CONTAINERS WITH THE STREET RIGHT-OF-WAY WHERE THE STREET IS OPEN TO PUBLIC USE WITHOUT PRIOR APPROVAL OF THE CITY OF BRYAN, TRAFFIC & TRANSPORTATION DEPARTMENT.

**WATER AND SEWER SERVICES**

- THE CONTRACTOR SHALL PROVIDE ALL THE MATERIALS AND APPURTENANCES NECESSARY FOR THE COMPLETE INSTALLATION OF WATER AND SEWER UTILITIES. ALL PIPES AND PIPE FITTINGS ARE TO BE INSPECTED BY THE CITY OF BRYAN PRIOR TO COVERING AND/OR FILING UTILITY TRENCH(ES).
- TRENCHING AND EMBEDMENT REQUIREMENTS SHALL CONFORM TO THE CITY OF BRYAN STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS AND/OR SHALL FOLLOW THE TYPICAL CROSS-SECTION DETAIL FOR TRENCHING UPON APPROVAL AND ACCEPTANCE OF THE CONSTRUCTION PLANS BY THE CITY. BACKFILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF STANDARD PROCTOR IN ACCORDANCE WITH ASTM D-998. ALL "BACK-FILL" MATERIAL SHALL BE COMPACTED IN 8-INCH LAYERS.
- THE CONTRACTOR SHALL MEET THE REQUIREMENTS FOR "TRENCH SAFETY" AS CONTAINED IN THE LATEST VERSION OF THE US DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS, 29 CFR PART 1926 SUBPART P-EXCAVATION. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE A PLAN FOR "TRENCH SAFETY" (I.E. SHORING SYSTEMS, SHIELD SYSTEMS, BENCHING SYSTEMS, SLOPING SYSTEMS, ETC.) THAT SHALL BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS. THE CONTRACTOR'S SHALL PREPARE "TRENCH SAFETY" PLANS PRIOR TO CONSTRUCTION AND IMPLEMENT DURING CONSTRUCTION. NO WORK SHALL BEGIN UNTIL SUCH "TRENCH SAFETY" PLAN IS APPROVED.
- THE END OF WATER AND SANITARY SEWER LINES SHALL BE TIGHTLY CAPPED OR PLUGGED AND MARKED UNTIL SUCH TIME AS SERVICE CONNECTIONS ARE MADE.
- THE CONTRACTOR SHALL COORDINATE ALL PHASES OF INSPECTION OF UTILITIES WITH THE CITY OF BRYAN PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY DAMAGES TO ADJACENT PROPERTY, VEGETATION, STRUCTURES, ETC., WHICH MAY RESULT DURING THE INSTALLATION OF THE PROPOSED WATER AND SANITARY SEWER LINES, STORM DRAIN PIPES, AND APPURTENANCES. THE CONTRACTOR SHALL LEAVE THE CONSTRUCTION SITE CLEAN OF ALL DEBRIS.
- ALL O D FITTINGS TO BE POLYWRAPPED.
- ALL WATER MAINS TO BE INSTALLED WITH 4' MINIMUM COVER UNDER FINISHED GRADE LINE UNLESS SHOWN OTHERWISE.
- WHERE PROPOSED OR EXISTING WATER LINES CROSS PROPOSED OR EXISTING SANITARY SEWER LINES, THE SANITARY SEWER MAIN SHOULD BE EITHER CONCRETE ENCASED OR WATER-TIGHT PIPE USED & EITHER SIDE OF THE CROSSING AND 2' OF CLEARANCE MAINTAINED.
- PRIOR TO INSTALLATION OF UTILITIES, ALL PROPERTY CORNERS ARE TO BE SET BY THE DEVELOPER'S ENGINEER.
- CLEAN-OUTS WILL BE INSTALLED AT THE PROPERTY LINE ON EACH SANITARY SEWER LATERAL.
- ANY SANITARY SEWER LATERALS WITH LESS THAN 3.5' OF COVER TO FINISHED GRADE TO BE CONCRETE ENCASED.
- A MINIMUM OF 1' CLEARANCE (HORIZONTALLY OR VERTICALLY AT THE DISCRETION OF THE CITY) SHALL BE REQUIRED BETWEEN PROPOSED WATER LINES AND PROPOSED CURB INLETS (INCLUDING STUB-OUTS FROM THE REAR OF INLETS). WATER LINES ALLOWED TO BE CONSTRUCTED UNDER ANY PROPOSED CURB INLETS SHALL BE CONCRETE ENCASED.
- HANDICAP RAMPS ARE TO BE INSTALLED AT ALL INTERSECTIONS OF PUBLIC STREETS OR PRIVATE DRIVES.
- A PAY ITEM FOR TRENCH SAFETY SYSTEMS THAT MEET REGULATIONS FOR EXCAVATING, TRENCHING, AND SHORING CONTAINED IN SUB PART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS SHALL BE INCLUDED IN THE OWNER/CONTRACTOR CONTRACT AGREEMENT IN ACCORDANCE WITH HB 065.
- ALL SANITARY SEWER SERVICES TO BE INSTALLED TO THE CENTER OF THE LOT UNLESS OTHERWISE SHOWN.
- ALL WATER SERVICES TO BE INSTALLED 10 FEET TO THE UPHILL SIDE OF THE SEWER SERVICE UNLESS OTHERWISE SHOWN.

- OPEN-CUT EXISTING ASPHALT PAVEMENT AS NECESSARY TO INSTALL UTILITIES. REPLACE PER CITY SPECIFICATION. AT LEAST ONE LANE OF TRAFFIC SHALL REMAIN OPEN AT ALL TIMES.
- THE CONTRACTOR SHALL MAKE APPLICATION FOR SERVICES, OBTAIN ALL PERMITS AND PAY ALL CHARGES, FEES, AND CONNECTION COSTS REQUIRED FOR EACH UTILITY SERVICE.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY OF BRYAN STANDARDS AND SPECIFICATIONS EXCEPT AS NOTED HEREIN OR APPROVED BY THE CITY.
- WATER SERVICES SHALL BE 1" TYPE K COPPER (ASTM 88).
- CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, AND FIRE HYDRANTS MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE UTILITY CONTRACTOR AFTER PLACEMENT OF PAVING AND BEFORE FINAL ACCEPTANCE.
- UTILITY CONTRACTOR SHALL SET METER BOXES AFTER COMPLETION OF PAVING.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR PAVING OF INLET BLOCKOUTS, VARIABLE HEIGHT CURBS, AND INLET THROATS.
- UTILITY CONTRACTOR SHALL PROVIDE ENGINEER AS-BUILT INFORMATION SUCH AS LOCATIONS AND DEPTHS OF UTILITY SERVICES IN ORDER TO PRODUCE RECORD DRAWINGS.
- SANITARY SEWER MAINS SHALL BE SDR 35 PVC PIPE ASTM D-3034 FOR DEPTHS LESS THAN 12 FEET AND SDR 26 PVC PIPE PER ASTM D-3034 FOR DEPTHS GREATER THAN 12 FEET.
- WATER MAINS SHALL BE CLASS 200 (DR 14) PVC PIPE PER AWWA SPECIFICATION C-900.
- FIRE HYDRANTS SHALL BE LOCATED TWO FEET (2') BEHIND THE BACK OF CURBS (SEE STANDARD DETAIL) AND CENTERED AT LOT LINES OR AS SHOWN. FIRE HYDRANTS SHALL CONFORM TO AWWA SPECIFICATION C502.
- SANITARY SEWER SERVICES SHALL BE CONSTRUCTED USING MINIMUM ALLOWABLE SLOPE IN AREAS WHERE SEWER MAIN DEPTH IS SHALLOW AND WHERE NOTED ON PROFILES.

**STREET CONSTRUCTION**

- THE CITY OF BRYAN, TRAFFIC & TRANSPORTATION DEPARTMENT SHALL FURNISH AND INSTALL ALL PERMANENT TRAFFIC SIGNS AND PAVEMENT MARKINGS, INCLUDING TRAFFIC BUTTONS, AT NO COST TO THE DEVELOPER OR CONTRACTOR.
- CONTRACTOR OR DEVELOPER IS RESPONSIBLE FOR CONTRACTING WITH TXU FOR THE RELOCATION OF EXISTING STREET LIGHTING AS NECESSARY FOR CONSTRUCTION OF THE IMPROVEMENTS. LIGHTING STANDARD(S) SHALL BE RELOCATED TO LOCATION(S) INDICATED ON THE APPROVED CONSTRUCTION DRAWINGS, BUT IN NO CASE SHALL THE FOUNDATION BE LOCATED LESS THAN TWO FEET (2') CLEAR OF THE NEAREST BACK OF CURB. NO COSTS RELATED TO THE RELOCATION OF STREET LIGHTING SHALL BE THE RESPONSIBILITY OF THE CITY OF BRYAN.

No.	Revision/Issue	Date

CLIENT ADDRESS  
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TBE# No.: F-9184

BRYAN FAMILY DOLLAR STORE  
DEVELOPMENT  
CITY OF BRYAN, BRAZOS COUNTY, TX

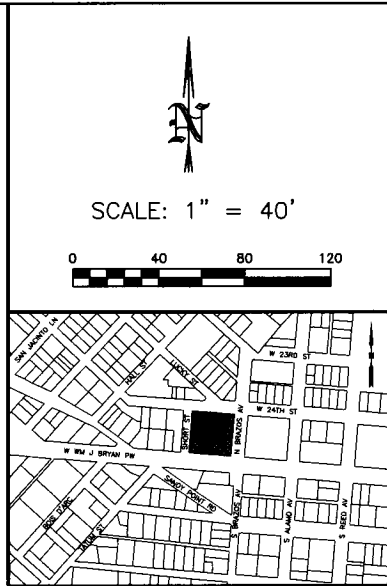
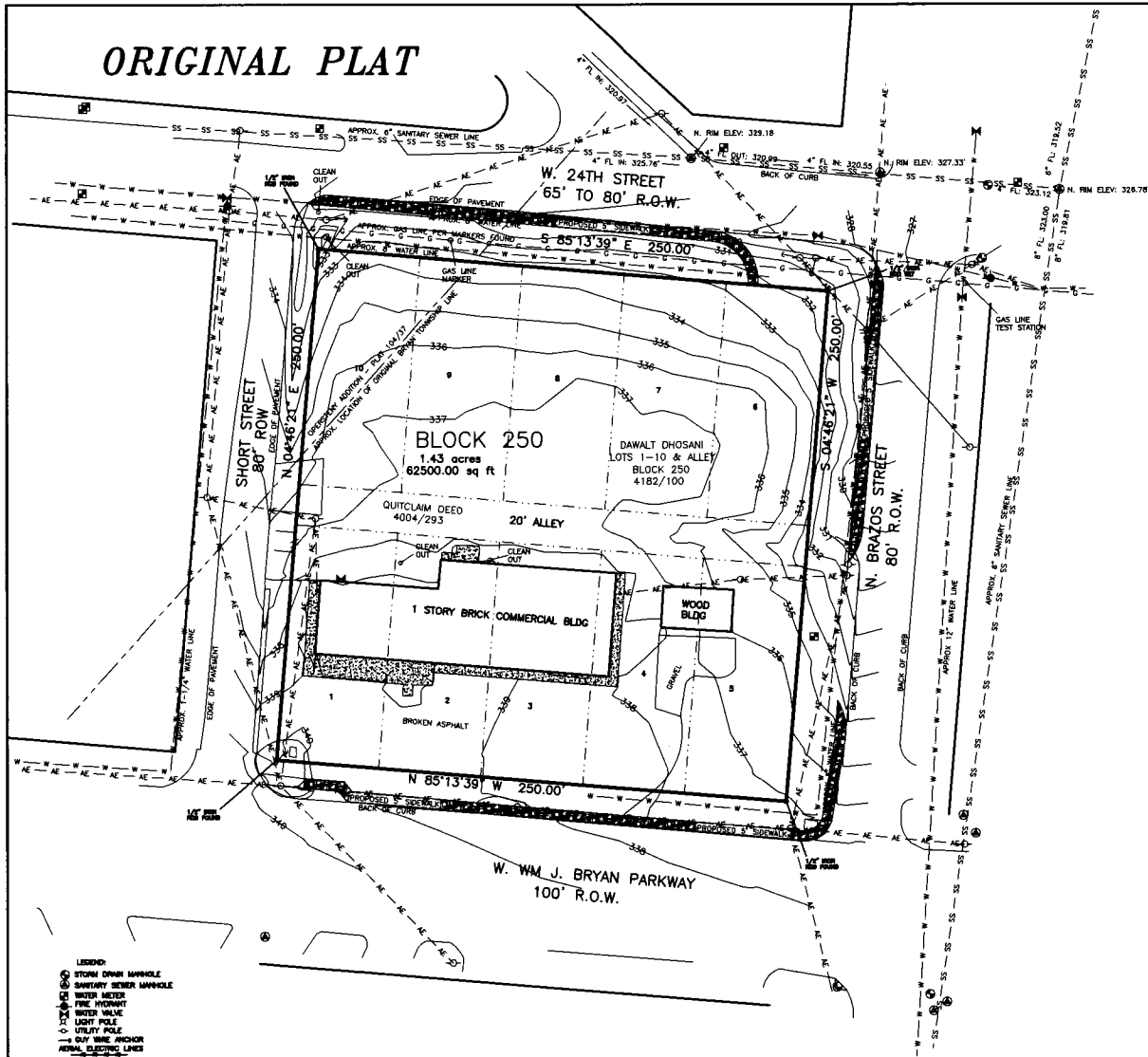
**GENERAL NOTES**

August 19, 2015

David H. Recht

CHECKED BY  
NM  
DHR JOB No.  
D13-011  
ISSUE DATE: 03/30/2015  
SHEET

**C-2-0**



GENERAL NOTES

1. BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION.
2. SUBJECT PROPERTY DOES NOT LIE WITHIN A DESIGNATED FLOOD PLAIN AREA ACCORDING TO THE F.I.R.M. MAPS, COMMUNITY PANEL NO. 4841CD185, DATED MAY 18, 2012.
3. 1/2 INCH IRON ROD AT ALL CORNERS UNLESS OTHERWISE NOTED.
4. CONTOURS SHOWN HEREON PER AN ACTUAL ON-THE-GROUND SURVEY.
5. WATER AND SEWER LINES SHOWN HEREON PER CITY OF BRYAN DIGITAL MAPS AND VISIBLE INDICATIONS.

METES AND BOUNDS DESCRIPTION OF A 1.43 ACRE TRACT S. F. AUSTIN LEAGUE NO. 9, A-62 BRYAN, BRAZOS COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION OF ALL THAT CERTAIN TRACT OF LAND LYING AND BEING SITUATED IN THE S. F. AUSTIN LEAGUE NO. 9, ABSTRACT NO. 62, BRYAN, BRAZOS COUNTY, TEXAS, SAID TRACT BEING ALL OF LOTS 1 THROUGH 10, ALL OF THE 20.00 FOOT ALLEY, BLOCK 250, BRYAN ORIGINAL TOWNSITE, ACCORDING TO THE PLAT RECORDED IN VOLUME H, PAGE 721 OF THE DEED RECORDS OF BRAZOS COUNTY TEXAS, AND THE OPERSTENY ADDITION, ACCORDING TO THE PLAT RECORDED IN VOLUME 104, PAGE 37 OF THE DEED RECORDS OF BRAZOS COUNTY, TEXAS.

SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND AT THE INTERSECTION OF THE NORTH LINE OF W. WM. J. BRYAN PARKWAY (100' R.O.W.) AND THE EAST LINE OF SHORT STREET (80' R.O.W.) MARKING THE SOUTHWEST CORNER OF SAID LOT 1;

THENCE: N 04° 46' 21" E ALONG THE EAST LINE OF SHORT STREET FOR A DISTANCE OF 250.00 FEET TO A 1/2 INCH IRON ROD FOUND ON THE SOUTH LINE OF W. 24TH STREET (80' R.O.W.) MARKING THE NORTHWEST CORNER OF SAID LOT 10;

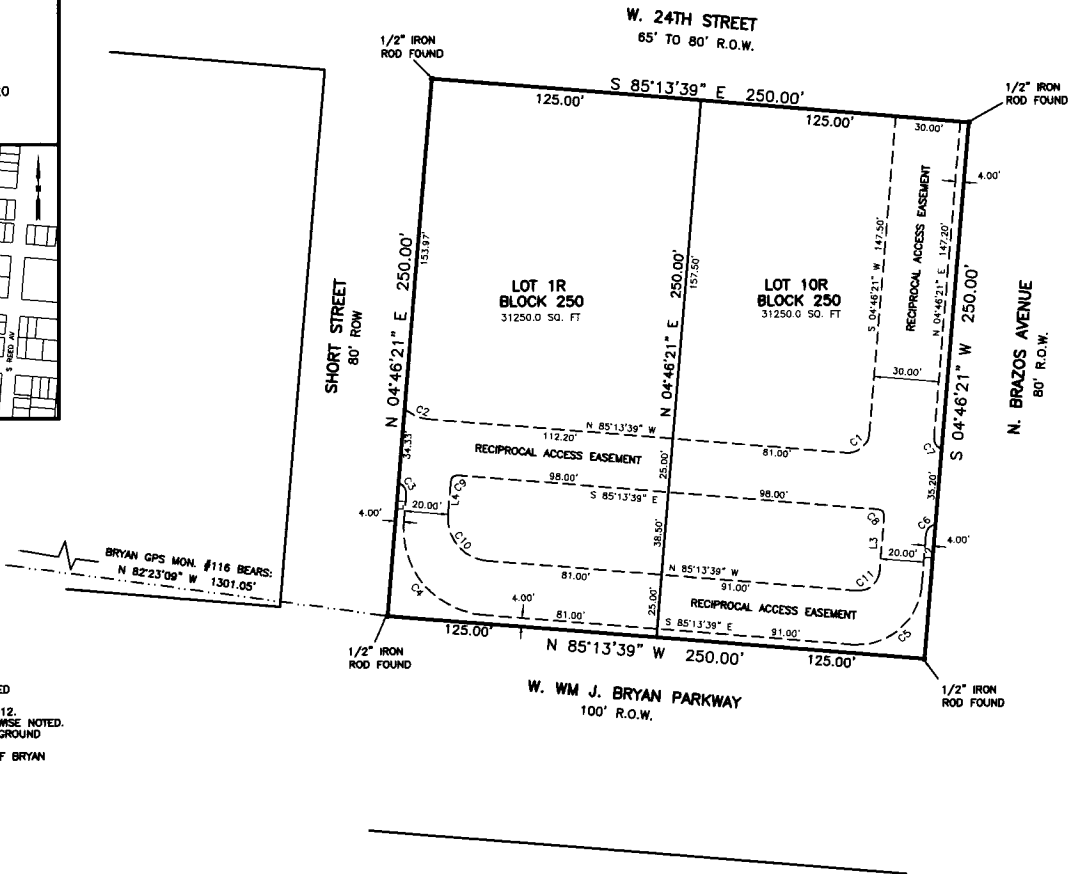
THENCE: S 85° 13' 39" E ALONG THE SOUTH LINE OF W. 24TH STREET FOR A DISTANCE OF 250.00 FEET TO A 1/2 INCH IRON ROD FOUND ON THE WEST LINE OF N. BRAZOS AVENUE (80' R.O.W.) MARKING THE NORTHEAST CORNER OF SAID LOT 8;

THENCE: S 04° 46' 21" W ALONG THE WEST LINE OF N. BRAZOS AVENUE FOR A DISTANCE OF 250.00 FEET TO A 1/2 INCH IRON ROD FOUND ON THE NORTH LINE OF W. WM. J. BRYAN PARKWAY MARKING THE SOUTHWEST CORNER OF SAID LOT 5;

THENCE: N 85° 13' 39" W ALONG THE NORTH LINE OF W. WM. J. BRYAN PARKWAY FOR A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING CONTAINING 1.43 ACRES OF LAND, MORE OR LESS, AS SURVEYED ON THE GROUND FEBRUARY 2015. BEARING SYSTEM SHOWN HEREON IS BASED ON GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION.

BRAD KERR  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 4502

REPLAT



CURVE	ARC	LENGTH	CHORD	ANGLE	CHORD	BEARING	CHORD	LENGTH
C1	13.41	25.00	10.47	11.11	10.47	N 85°13'39" E	10.47	25.00
C2	13.41	25.00	10.47	11.11	10.47	S 85°13'39" W	10.47	25.00
C3	13.41	25.00	10.47	11.11	10.47	N 04°46'21" E	10.47	25.00
C4	13.41	25.00	10.47	11.11	10.47	S 04°46'21" W	10.47	25.00

CURVE	ARC	LENGTH	CHORD	ANGLE	CHORD	BEARING	CHORD	LENGTH
C1	13.41	25.00	10.47	11.11	10.47	N 85°13'39" E	10.47	25.00
C2	13.41	25.00	10.47	11.11	10.47	S 85°13'39" W	10.47	25.00
C3	13.41	25.00	10.47	11.11	10.47	N 04°46'21" E	10.47	25.00
C4	13.41	25.00	10.47	11.11	10.47	S 04°46'21" W	10.47	25.00

REPLAT

OF  
ALL OF BLOCK 250  
BRYAN ORIGINAL TOWNSITE  
VOLUME H, PAGE 791  
OPERSTENY ADDITION  
VOLUME 104, PAGE 37  
TO CREATE  
LOTS 1R & 10R, BLOCK 250  
**BRYAN ORIGINAL TOWNSITE**  
1.43 AC., S. F. AUSTIN LEAGUE #9, A-62  
BRYAN, BRAZOS COUNTY, TEXAS

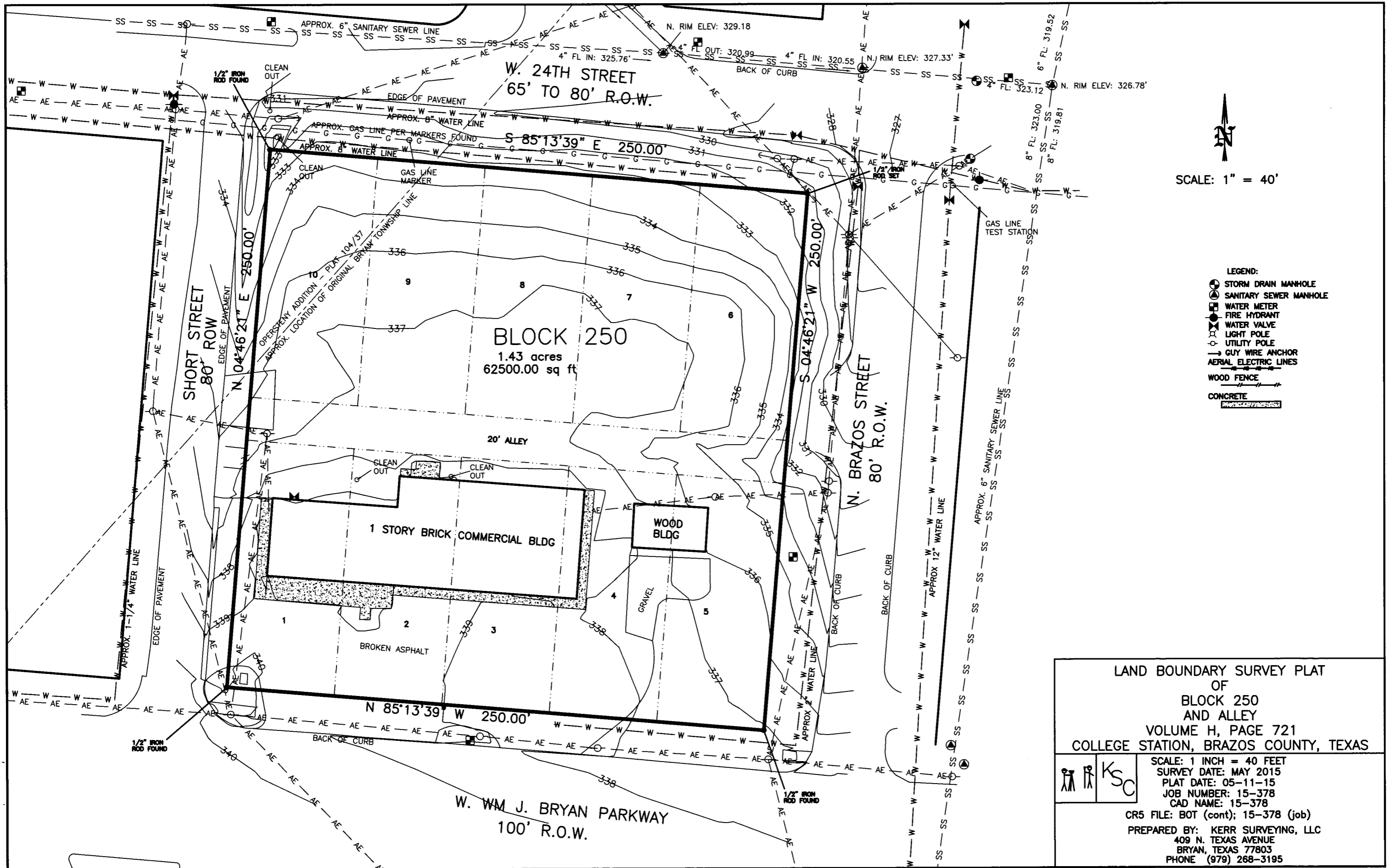


SCALE: 1 INCH = 40 FEET  
SURVEY DATE: FEB. 2015  
PLAT DATE: 06-21-15

JOB NUMBER: 15-378  
CAD NAME: 15-378R  
CR5 FILE: BOT-NEW (cont): 15-378 (job)

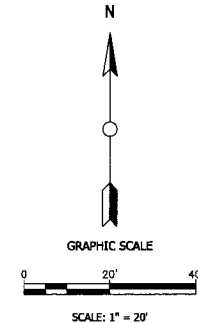
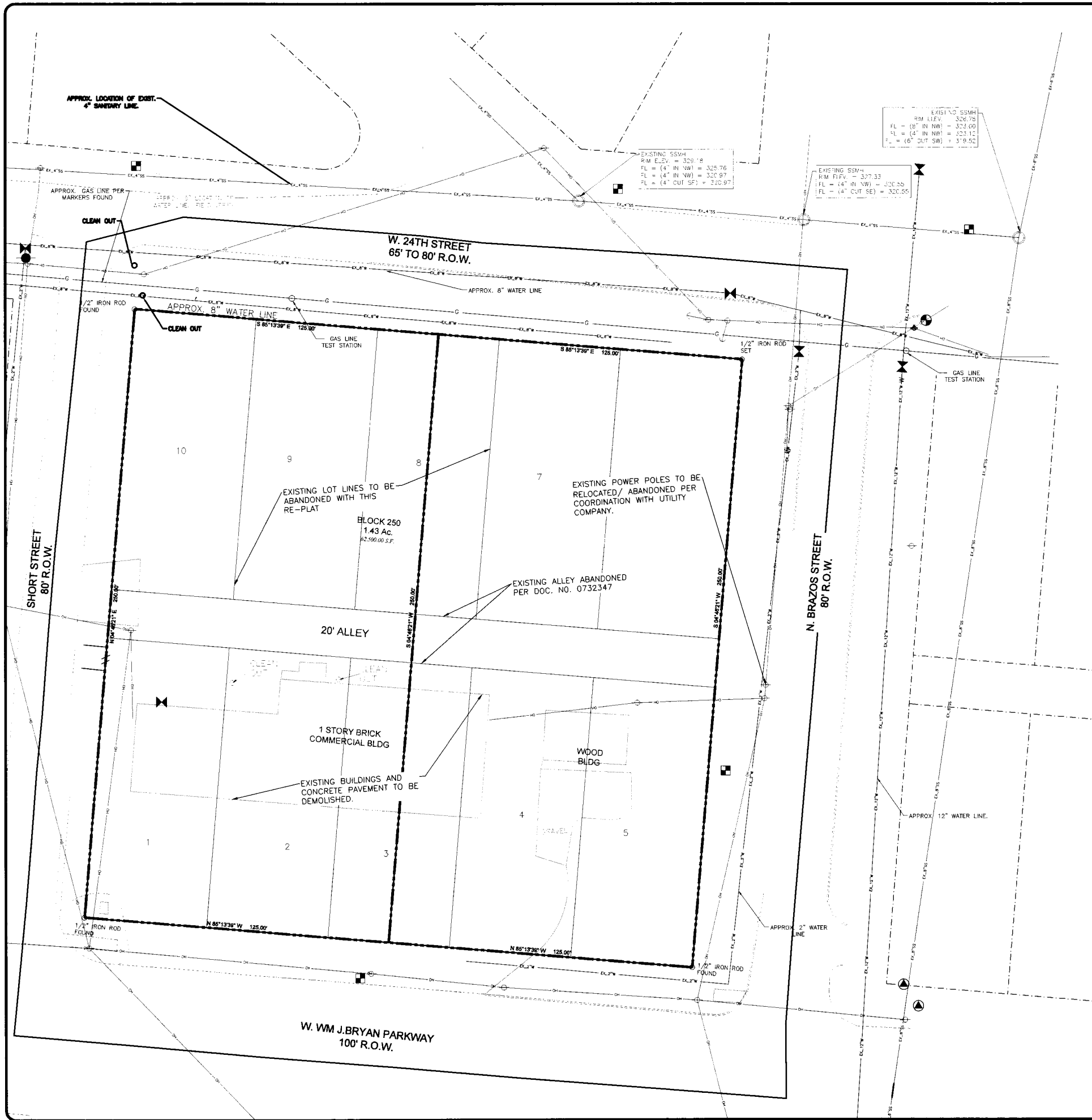
PREPARED BY: KERR SURVEYING, LLC  
409 N. TEXAS AVENUE  
BRYAN, TEXAS 77803  
PHONE (979) 268-3195

PREPARED FOR: JOHN EDWARD DOE  
505 CHURCH STREET, P.O. BOX 269  
COLLEGE STATION, TEXAS 77841  
PHONE (979) 268-3195



FILE: DEMOLITION PLAN.DWG

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- ### DEMOLITION NOTES
- CONTRACTOR SHALL ACCURATELY RECORD ACTUAL LOCATIONS OF CAPPED UTILITIES AND SUBSURFACE OBSTRUCTIONS THAT WILL REMAIN AFTER DEMOLITION.
- STRUCTURES TO BE DEMOLISHED WILL BE DISCONTINUED IN USE AND VACATED PRIOR TO START OF WORK.
  - OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF STRUCTURES TO BE DEMOLISHED.
  - CONDITIONS, EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER AS REASONABLY PRACTICAL. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
  - UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS OR SPECIFIED BY THE OWNER, ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR SHALL BE REMOVED FROM SITE AND STRUCTURES. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED AND SHALL NOT INTERFERE WITH OTHER WORK SPECIFIED IN CONTRACT DOCUMENTS.
  - EXPLOSIVES SHALL NOT BE BROUGHT TO SITE OR USED WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. SUCH WRITTEN CONSENT WILL NOT RELIEVE CONTRACTOR OF TOTAL RESPONSIBILITY FOR INJURY TO PERSONS OR FOR DAMAGE TO PROPERTY DUE TO BLASTING OPERATIONS. PERFORMANCE OF REQUIRED BLASTING SHALL COMPLY WITH GOVERNING REGULATIONS.
  - PROVIDE, ERECT, AND MAINTAIN EROSION CONTROL DEVICES, TEMPORARY BARRIERS, AND SECURITY DEVICES AT LOCATIONS INDICATED ON CONSTRUCTION DRAWINGS.
  - PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES, AND STRUCTURES, WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
  - PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS NEEDED.
  - MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION UTILITIES THAT ARE TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE TO OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES AND OWNER.
  - NOTIFY ADJACENT OWNERS OF WORK THAT MAY AFFECT THEIR PROPERTY, POTENTIAL NOISE, UTILITY OUTAGES OR DISRUPTIONS. CONTRACTOR TO COORDINATE WITH OWNER.
- ### DEMOLITION REQUIREMENTS
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES OR PAVEMENTS.
  - CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY-HAVING JURISDICTION. DO NOT RESUME OPERATIONS UNTIL DIRECTED BY AUTHORITY.
  - CONDUCT OPERATIONS WITH MINIMUM OF INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN INGRESS AND EGRESS AT ALL TIMES.
  - OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON, OR LIMIT ACCESS TO THEIR PROPERTY.
  - SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.
  - COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
  - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.
- ### DEMOLITION
- DEMOLISH BUILDINGS COMPLETELY AND REMOVE FROM SITE USING METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS. SMALL STRUCTURES MAY BE REMOVED INTACT WHEN ACCEPTABLE TO OWNER AND AUTHORITIES HAVING JURISDICTION.
  - LOCATE DEMOLITION EQUIPMENT AND REMOVE MATERIALS SO AS TO PREVENT EXCESSIVE LOADING TO SUPPORTING WALLS, FLOORS, OR FRAMING.
  - DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS, ON GRADE THAT ARE 2-FOOT OR MORE BELOW PROPOSED SUBGRADE TO PERMIT MOISTURE DRAINAGE. CONTRACTOR SHALL REMOVE SLABS-ON-GRADE AND BELOW GRADE CONSTRUCTION WITHIN 2-FOOT OF PROPOSED SUBGRADE.
- ### FILLING BASEMENTS AND VOIDS
- COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OR REMOVAL OF STRUCTURES, UNDERGROUND FUEL STORAGE TANKS, WELLS, CISTERNS, ETC., USING APPROVED SELECT FILL MATERIALS CONSISTING OF STONE, GRAVEL, AND SAND FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS, AND OTHER ORGANIC MATTER.
  - ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN OR UNSUITABLE MATERIAL, TRASH, AND DEBRIS PRIOR TO FILL PLACEMENT.
  - PLACE FILL MATERIALS IN ACCORDANCE WITH SECTION 02200 UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.
  - GRADE SURFACE TO MATCH ADJACENT GRADES AND TO PROVIDE FLOW OF SURFACE DRAINAGE AFTER FILL PLACEMENT AND COMPACTION.
- ### DISPOSAL OF DEMOLISHED MATERIALS
- REMOVE FROM SITE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. LEAVE AREAS OF WORK IN CLEAN CONDITION.
  - NO BURNING OF ANY MATERIAL, DEBRIS OR TRASH ON, SITE OR OFF, SITE WILL BE ALLOWED, EXCEPT WHEN ALLOWED BY APPROPRIATE GOVERNING AUTHORITY AND OWNER, IF ALLOWED AS STATED ABOVE, BURNING SHALL BE PERFORMED IN MANNER PRESCRIBED BY GOVERNING AUTHORITY. ATTEND BURNING MATERIALS UNTIL FIRES HAVE BURNED OUT AND HAVE BEEN COMPLETELY EXTINGUISHED.
  - TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES WITH APPROPRIATE VEHICLES AND DISPOSE OFF-SITE TO AREAS THAT ARE APPROVED FOR DISPOSAL BY GOVERNING AUTHORITIES AND APPROPRIATE PROPERTY OWNERS.

No.	Revision/Issue	Date

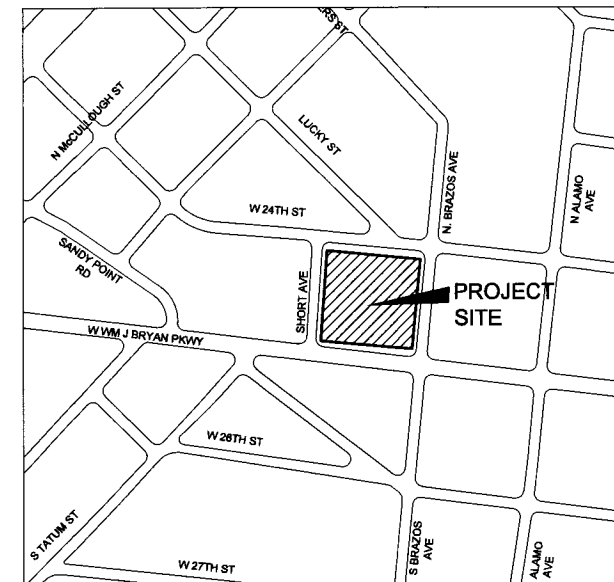
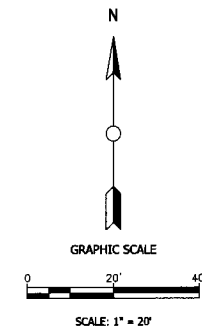
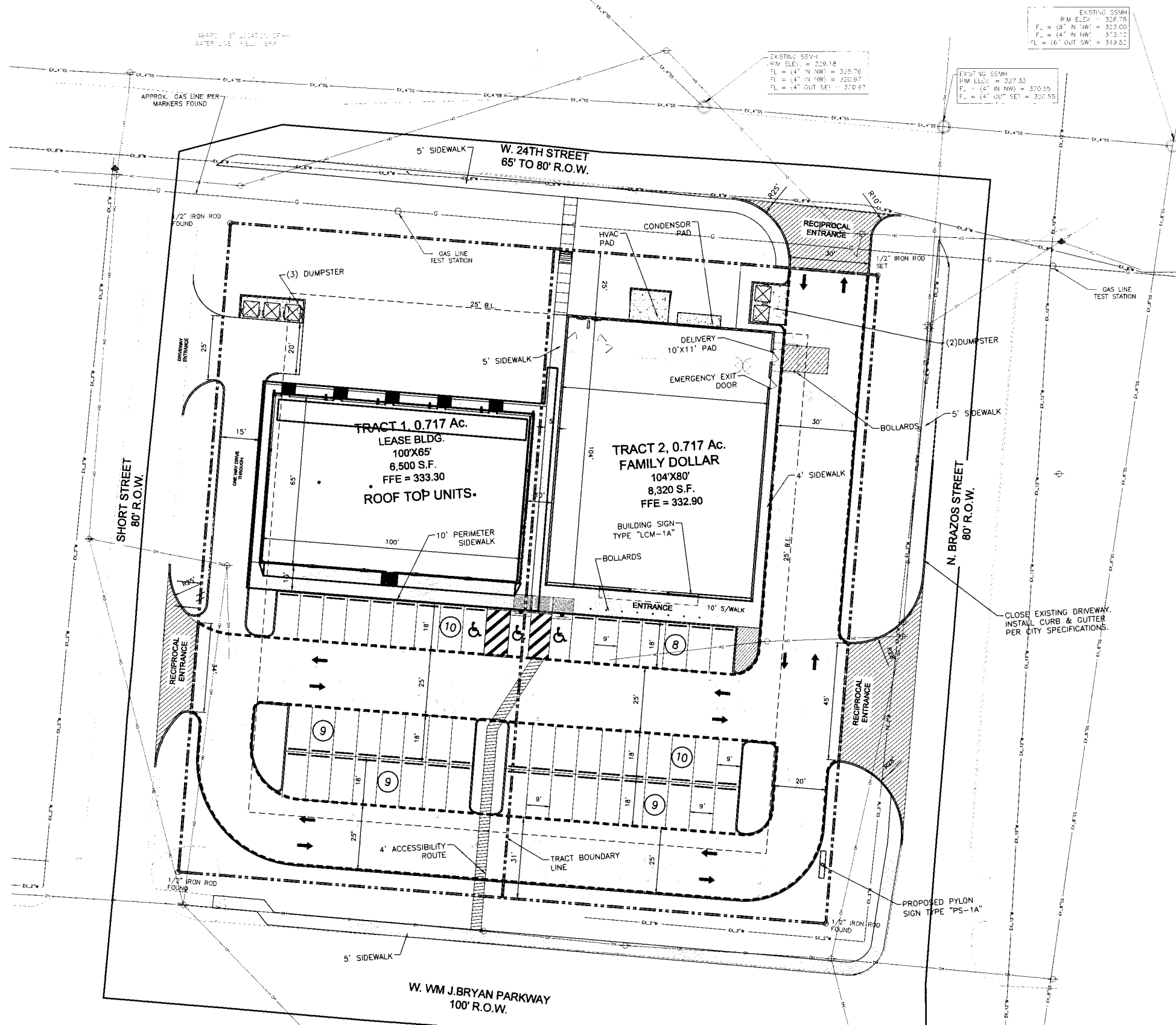
CLIENT ADDRESS  
BRYAN-WEST GYM DEV. PARTNERS, LLC  
35 JASPER PLACE  
THE WOODLANDS, TX 77389  
CONTACT: JIM GUNN  
PH: (832) 871-2424  
FAX: (281) 444-4475

ENGINEERING, INC.  
Civil Engineers  
300 DECEMBER DRIVE  
IRVING, TEXAS 75062  
TEL: (972) 717-5100 FAX: (972) 717-5111  
TBP# No.: F-9184

BRYAN FAMILY DOLLAR STORE  
DEVELOPMENT  
CITY OF BRYAN, BRAZOS COUNTY, TX  
**DEMOLITION PLAN**

August 19, 2015  
David H. Resht

CHECKED BY  
NM  
DHR JOB No.  
D13-011  
ISSUE DATE: 03/30/2015  
SHEET  
**C-3-0**

VICINITY MAP  
NTS

## SITE DATA SUMMARY (FAMILY DOLLAR)

Existing Zoning: C-3

Proposed Land Use: Commercial

## Area Summary:

Total Site Area: 31,250 s.f.  
 Building: 8,320 s.f.  
 Concrete Paving: 16,840 s.f.  
 Green Area: 4,250 s.f.

## Parking Summary

Required: 29 1/250 s.f.  
 Provided: 28  
 Space size: 9'x18'  
 Truck access on Brazos Ave & 24th Street

## Building Setbacks:

	Required	Actual
Front:	25	25
East:	25	25
North:	25	25
West:	10	10

## Landscape Requirements

City Code

## Notes:

Risk Class III requires bollards

**FEMA FLOOD STATEMENT**  
 NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD  
 BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE  
 PROGRAM'S FLOOD INSURANCE RATE MAP FOR THE CITY OF BRYAN,  
 BRAZOS COUNTY, TEXAS, COMMUNITY PANEL No. 48041C0195E, MAP  
 EFFECTIVE MAY 16, 2012.

No.	Revision/Issue	Date

CLIENT ADDRESS  
 BRYAN-WEST GAZ DEV. PARTNERS, LLC  
 11808 KINGDRIDGE DRIVE  
 MONTGOMERY, TX 77316  
 CONTACT: JIM GUNN  
 PH: (832) 471-2424  
 FAX: (281) 444-4475

FIRM NAME AND ADDRESS  
**D H R**  
**ENGINEERING, INC.**  
 Civil Engineers  
 320 DECKER DRIVE  
 IRVING, TEXAS 75062  
 TEL (972) 717-0100 FAX (972) 717-0111  
 TBPE No.: F-0164

BRYAN-WEST FAMILY DOLLAR  
 1208 W. WILLIAM JOEL, PARKWAY  
 CITY OF BRYAN, BRAZOS COUNTY, TX. 77803

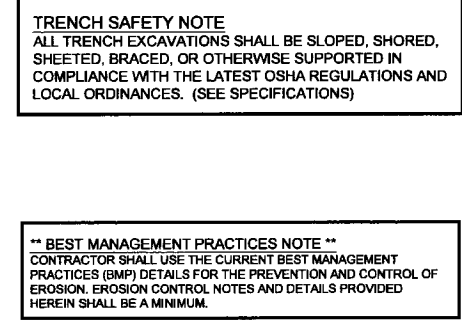
SITE PLAN  
—

August 26, 2015








David H. Recht

CHECKED BY  
 NM  
 DHR JOB No.  
 D13-011  
 ISSUE DATE: 08/24/2015  
 SHEET

**C-4.0**




## LEGEND & ABBREVIATION

FLOW DIRECTION	
PROPOSED SPOT GRADE ELEVATION	 TC = 620.00 TP = 619.50
FINISH FLOOR ELEVATION	FFE
GUTTER ELEV.	GU
SIDEWALK	SW
TOP OF CURB	TC
TOP OF PAVEMENT	TP
BOTTOM OF WALL	BW
TOP OF WALL	TW
FLOWLINE	FL
EXISTING BOTTOM OF WALL	EX-BW
FINISH GRADE	FG
PROPOSED STORM SEWER	
PROPOSED CURB INLET	
STORM-AREA-INLET	
STORM SEWER JUNCTION BOX	
EXISTING STORM SEWER	

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CLIENT ADDRESS

BRYAN-WEST G2K DEV. PARTNERS, LLC  
11609 KINGSDRIDGE DRIVE  
MONTGOMERY, TX 77316  
CONTACT: JIM GUNN  
PH: (832) 571-2424  
FAX: (281) 444-4475

FIRM NAME AND ADDRESS  
  
**ENGINEERING, INC.**  
 Civil Engineers  
 320 DECKER DRIVE  
 IRVING, TEXAS 75062  
 TEL (972) 777-4100 FAX (972) 777-0111  
 TYPE NO.: F-9164

**BRYAN-WEST FAMILY DOLLAR  
1208 W.WILLIAM JOEL, PARKWAY  
CITY OF BRYAN, BRAZOS COUNTY, TX. 77803**

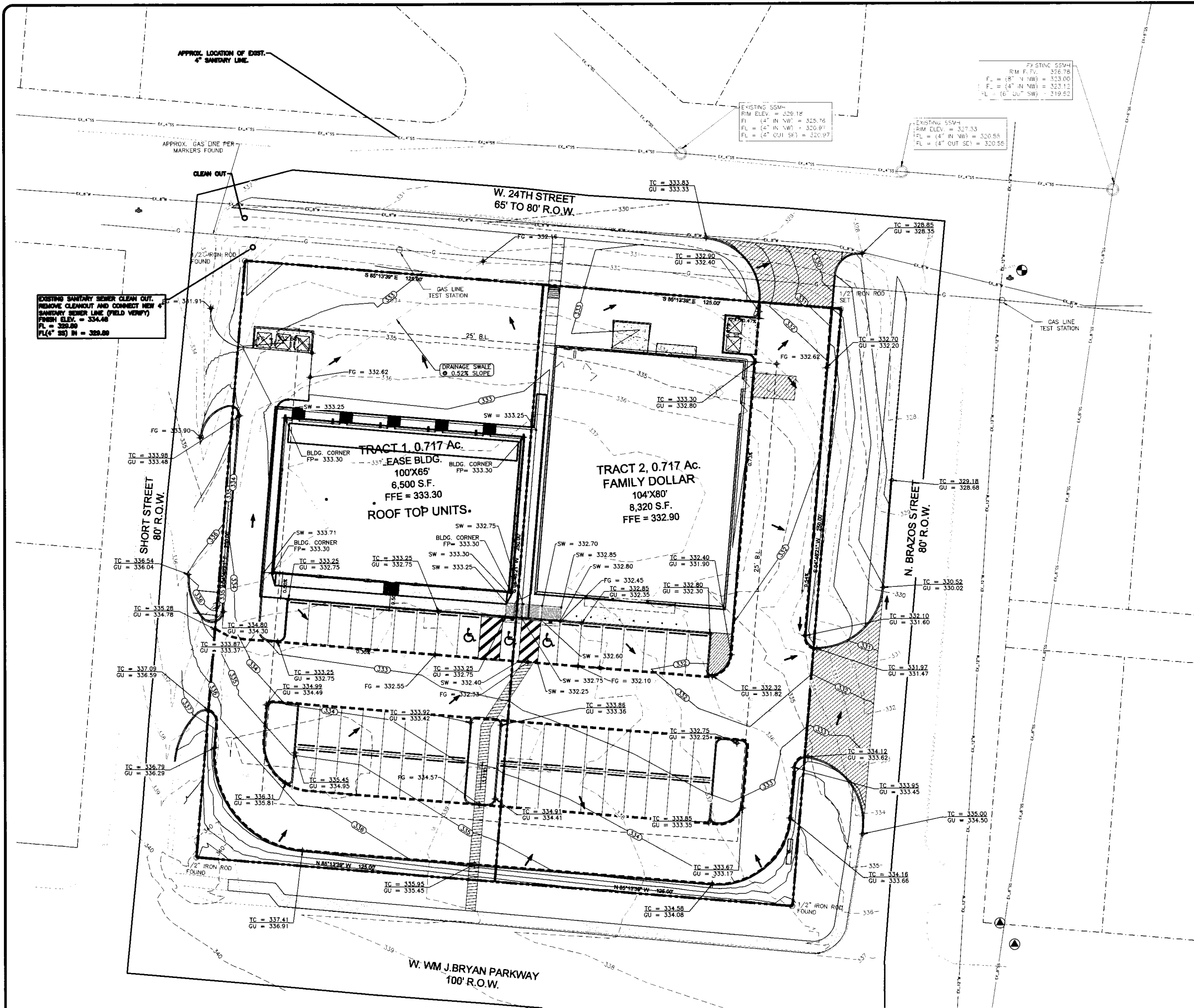
August 26, 2015

*David H. Recht*

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ISSUE DATE: 08/24/2015
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<b>C-5.0</b>

FILE: GRADING PLANDWG

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### LEGEND & ABBREVIATION

FLOW DIRECTION	
PROPOSED SPOT GRADE ELEVATION	TC = 620.00 TP = 619.50
BUILDING CORNER ELEVATION	BLDG. CORNER
GUTTER ELEV.	GU
NATURAL GROUND	NG
TOP OF CURB	TC
TOP OF PAVEMENT	TP
BOTTOM OF WALL	BW
TOP OF WALL	TW
FLOWLINE	FL
EXISTING GRADE	EG
FINISH GRADE	FG
PROPOSED STORM SEWER	
PROPOSED CURB INLET	
STORM-AREA-INLET	
STORM SEWER JUNCTION BOX	
EXISTING STORM SEWER	
EXISTING CONTOURS	
PROPOSED CONTOURS	

Name	Cut(adjusted)(Cu. Yd.)	Fill(adjusted)(Cu. Yd.)	Net(adjusted)(Cu. Yd.)
Bryan West cut and fill	8419	126	8293<Cut>

No.	Revision/Issue	Date

CLIENT ADDRESS  
BRYAN-WEST GZK DEV. PARTNERS, LLC  
11809 KINGROCK DRIVE  
MONTGOMERY, TX 77316  
CONTACT: JIM GUNN  
PH: (832) 871-2424  
FAX: (281) 444-4475

FIRM NAME AND ADDRESS  
**D H R**  
**ENGINEERING, INC.**  
Civil Engineers  
300 DECKER DRIVE  
IRVING, TEXAS 75062  
TEL: (872) 717-0100 FAX: (872) 717-0111  
TBPE No.: F-9184

BRYAN-WEST FAMILY DOLLAR  
1208 W. WILLIAM JOEL PARKWAY  
CITY OF BRYAN, BRAZOS COUNTY, TX. 77803

### GRADING PLAN

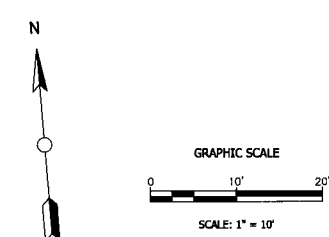


August 26, 2015

*David H. Reckert*


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NM  
DHR JOB No.  
D13-011  
ISSUE DATE: 08/24/2015  
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**C-6.0**

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CLIENT ADDRESS

BRYAN-WEST GZK DEV. PARTNERS, LLC  
11608 KINGGRIDGE DRIVE  
MONTGOMERY, TX 77316  
CONTACT: JIM GUNN  
PH: (832) 571-2624  
FAX: (281) 444-4475

FIRM NAME AND ADDRESS  
  
**D H R<sup>®</sup>**  
**ENGINEERING, INC.**  
 Civil Engineers  
 320 DECKER DRIVE  
 IRVING, TEXAS 75062  
 TEL. (972) 717-0100 FAX (972) 717-4111  
 TBPE No.: F-9164

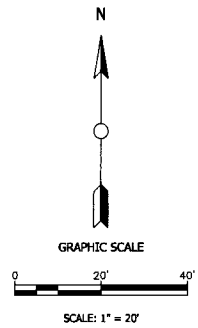
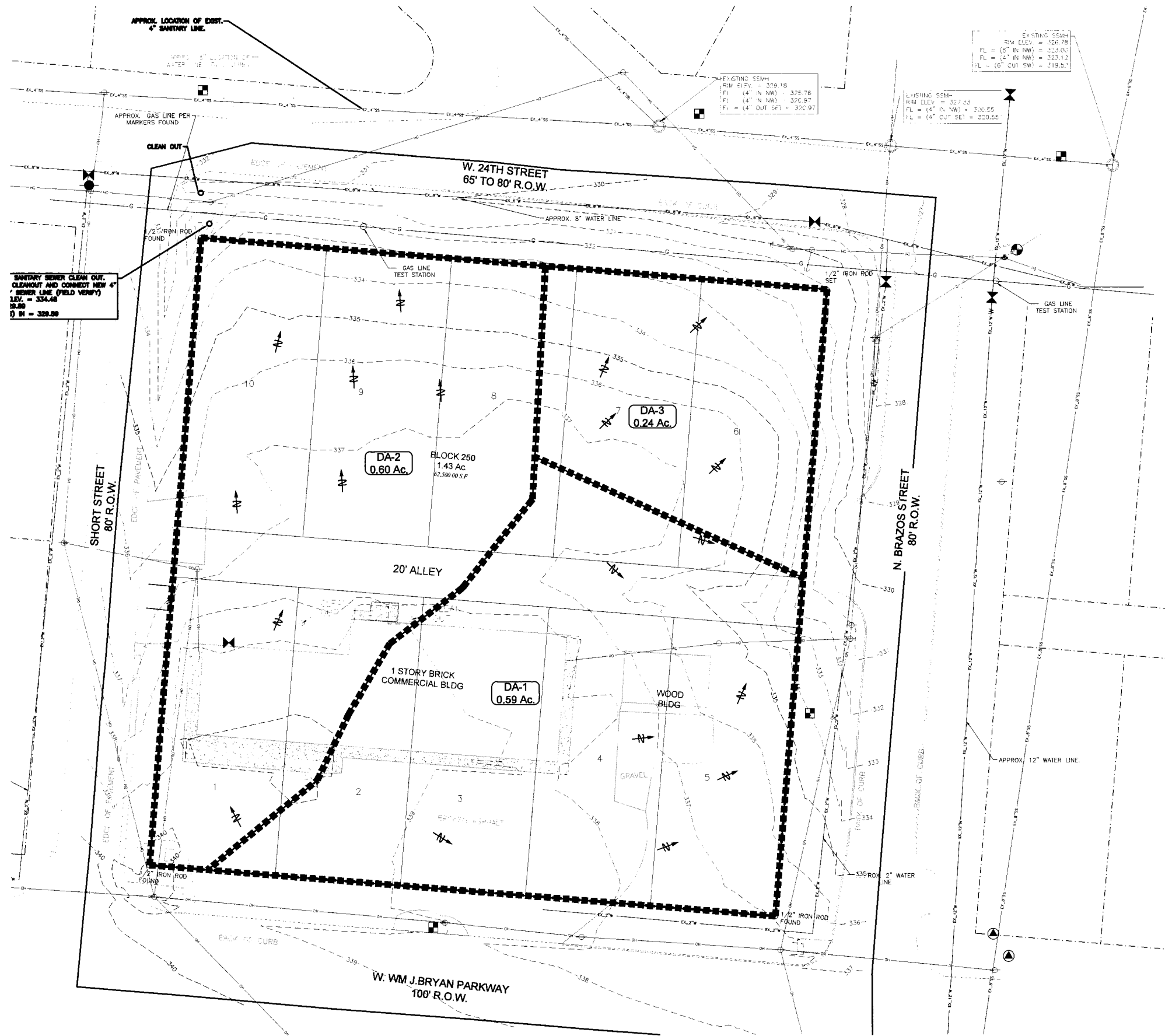
BRYAN-WEST FAMILY DOLLAR  
1208 W.WILLIAM JOEL, PARKWAY  
CITY OF BRYAN, BRAZOS COUNTY, TX. 77803

**HANDCAP GRADING DETAIL**

August 26, 2015

*David H. Recht*

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DHR JOB No. D13-011	
ISSUE DATE:	08/24/2015
SHEET	
<b>C-6.1</b>	



## LEGEND

- 630--- EXISTING CONTOURS
- ONSITE DRAINAGE AREA DELINEATION
- OFF SITE DRAINAGE AREA DELINEATION
- EXISTING STORM SEWER
- EXISTING CURB INLET
- EXIST FLOW DIRECTION
- DA-3  
11.3 AC DRAINAGE AREA AREA OF BASIN

No.	Revision/Issue	Date

CLIENT ADDRESS  
 BRYAN WEST GUN DEV. PARTNERS, LLC  
 35 JASPER PLACE  
 THE WOODLANDS, TX 77388  
 CONTACT: JIM GUNN  
 PH: (832) 471-2424  
 FAX: (281) 444-4475

FIRM NAME AND ADDRESS  
**D H R**  
**ENGINEERING, INC.**  
 Civil Engineers  
 333 DEGEN DRIVE  
 IRVING, TEXAS 75062  
 TEL: (972) 717-4100 FAX: (972) 717-4111  
 TBPE No.: F-9164

BRYAN FAMILY DOLLAR STORE  
 DEVELOPMENT  
 CITY OF BRYAN, BRAZOS COUNTY, TX  
**EXISTING DRAINAGE PLAN**

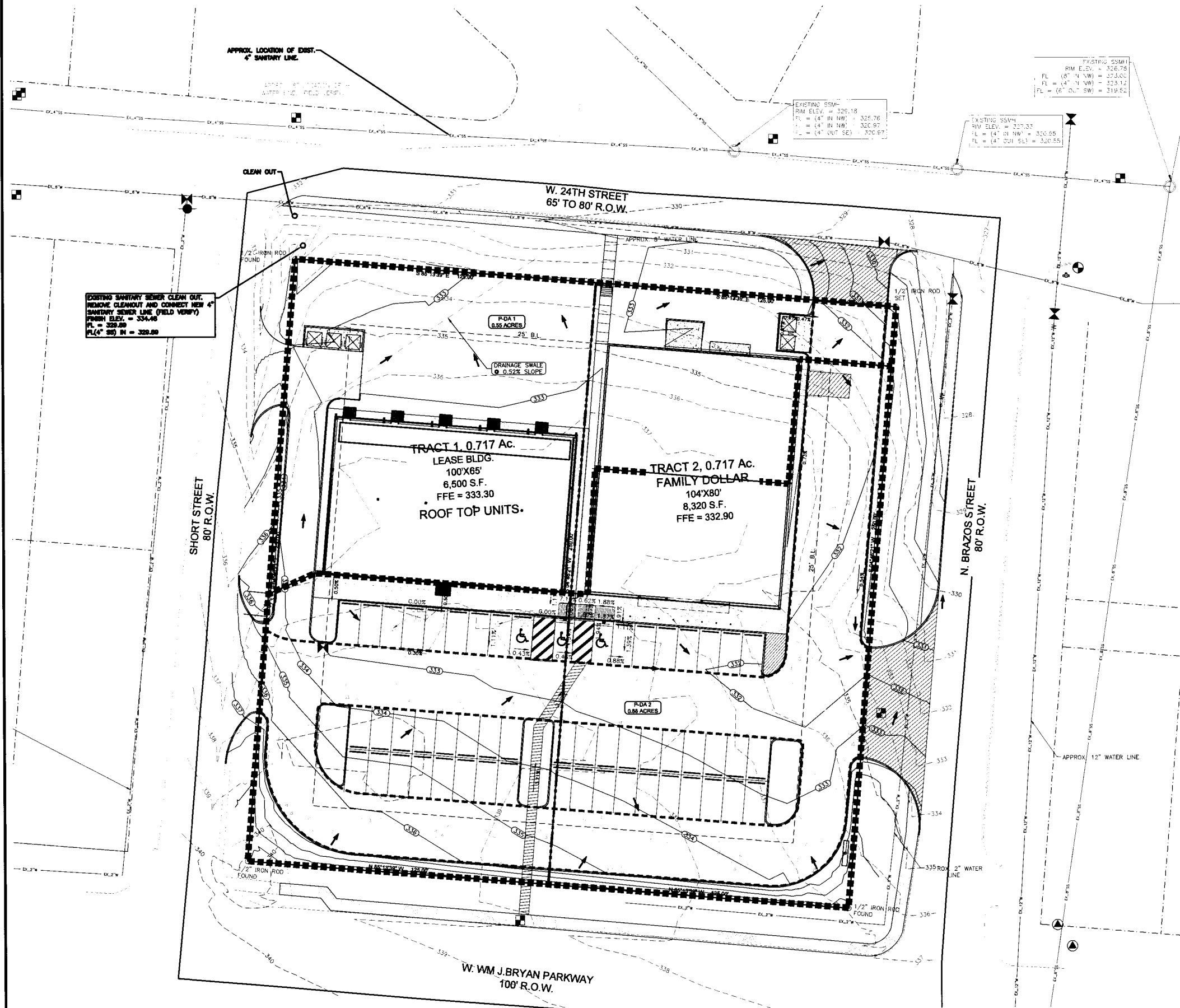


August 26, 2015  
*David H. Reicht*

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ISSUE DATE: 03/30/2015	
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FILE: POST DRAINAGE PLAN.DWG

PLOTTED: 8/26/2015 12:58:23 AM



**LEGEND**

- 680 --- EXISTING CONTOURS
- ONSITE DRAINAGE AREA DELINEATION
- OFF SITE DRAINAGE AREA DELINEATION
- EXISTING STORM SEWER
- EXISTING CURB INLET
- EXIST FLOW DIRECTION
- P- DA 1 0.85 Ac DRAINAGE AREA OF BASIN

N

GRAPHIC SCALE

0 20' 40'

SCALE: 1" = 20'

No.	Revision/Issue	Date

CLIENT ADDRESS

BRYAN-WEST GAZ DEV. PARTNERS, LLC  
11809 KINGROSE DRIVE  
MONTGOMERY, TX 77316  
CONTACT: JIM GUNN  
PH: (832) 871-2424  
FAX: (281) 444-4475

FINAL NAME AND ADDRESS

**D H R ENGINEERING, INC.**  
Civil Engineers  
320 DECKER DRIVE  
IRVING, TEXAS 75039  
TEL (972) 717-5100 FAX (972) 717-5111  
TIDPE No.: F-9184

BRYAN-WEST FAMILY DOLLAR  
1208 W. WILLIAM JOEL, PARKWAY  
CITY OF BRYAN, BRAZOS COUNTY, TX. 77803

**POST DRAINAGE PLAN**

STATE OF TEXAS  
DAVID H. RECHT  
91962  
LICENSED PROFESSIONAL ENGINEER

August 26, 2015

*David H. Recht*

CHECKED BY  
NM  
DHR JOB No.  
D13-011

ISSUE DATE: 08/24/2015

SHEET

**C-8.0**

TABLE 1: EXISTING 100 YR STORM DRAINAGE CHART CALCULATIONS														
Drainage Area	Total Area	Runoff Coefficient	Time of Concentration	Rainfall Intensity					Design Discharge					Notes
No.	(Acres)	Cw	Tc (Min.)	I5 (in/hr)	I10 (in/hr)	I25 (in/hr)	I50 (in/hr)	I100 (in/hr)	Q5 (cfs)	Q10 (cfs)	Q25 (cfs)	Q50 (cfs)	Q100 (cfs)	
DA-1	0.550	0.79	10	7.7	8.8	9.9	11.1	11.6	3.6	4.0	4.6	5.2	5.4	ON-SITE
DA-2	0.600	0.79	10	7.7	8.8	9.9	11.1	11.6	3.6	4.1	4.7	5.3	5.5	ON-SITE
DA-3	0.240	0.79	10	7.7	8.8	9.9	11.1	11.6	1.5	1.6	1.9	2.1	2.2	ON-SITE
TOTAL PROJECT FLOWS									8.7	9.8	11.1	12.6	13.1	
				Rainfall Intensity Constants										
Rainfall Frequency				5 YR	10 YR	25 YR	50 YR	100 YR						
e				0.785	0.763	0.754	0.745	0.73						
b				76	80	89	98	96						
d				8.5	8.5	8.5	8.5	8						


TABLE 2: 100 YEAR STORM DRAINAGE CHART CALCULATIONS														
Drainage Area	Total Area	Runoff Coefficient	Time of Concentration	Rainfall Intensity					Design Discharge					Notes
No.	(Acres)	Cw	Tc (Min.)	I5 (in/hr)	I10 (in/hr)	I25 (in/hr)	I50 (in/hr)	I100 (in/hr)	Q5 (cfs)	Q10 (cfs)	Q25 (cfs)	Q50 (cfs)	Q100 (cfs)	
P-DA 1	0.550	0.79	10	7.7	8.8	9.9	11.1	11.6	3.3	3.8	4.3	4.8	5.1	ON-SITE
P-DA 2	0.880	0.79	10	7.7	8.8	9.9	11.1	11.6	5.3	6.0	6.9	7.7	8.1	ON-SITE
TOTAL PROJECT FLOWS									8.7	9.8	11.1	12.6	13.1	
				Rainfall Intensity Constants										
Rainfall Frequency				5 YR	10 YR	25 YR	50 YR	100 YR						
e				0.785	0.763	0.754	0.745	0.73						
b				76	80	89	98	96						
d				8.5	8.5	8.5	8.5	8						
				$I = b / (Tc + d)^a$										

No.	Revision/Issue	Date

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BRYANWEST G&A DEV PARTNERS, LLC  
35 JASPER PLACE  
THE WOODLANDS, TX 77380  
CONTACT: JIM GUNN  
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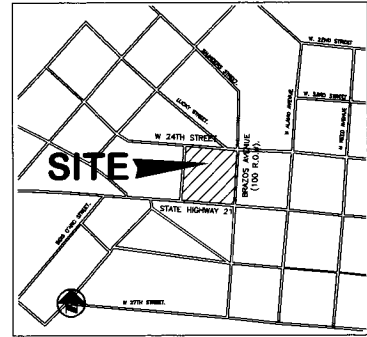
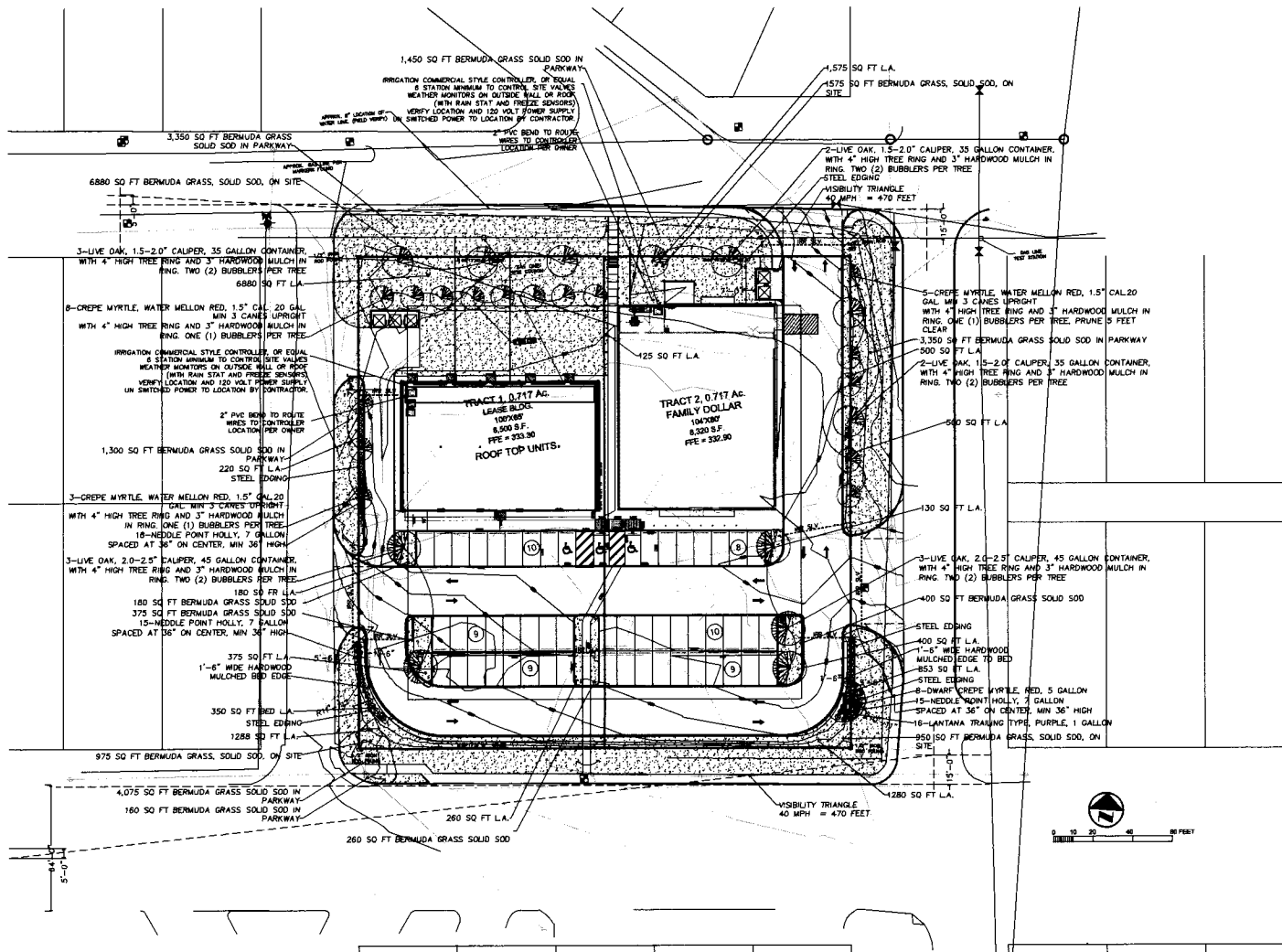
FIRM NAME AND ADDRESS  
**D H R<sup>®</sup>**  
**ENGINEERING, INC.**  
CIVIL ENGINEERS  
2000 W. WILSON AVE.  
IRVING, TEXAS 75039  
TEL: (972) 717-0100 FAX: (972) 717-0111  
TBP# No.: F-9184

BRYAN FAMILY DOLLAR STORE  
DEVELOPMENT  
CITY OF BRYAN, BRAZOS COUNTY, TX  
**DRAINAGE CALCULATIONS**

  
August 26, 2015  
*David H. Reich*

CHECKED BY  
JW  
DWG JOB No.  
013-011  
ISSUE DATE: 03/30/2015  
SHEET  
**C-9.0**





SITE VICINITY MAP

#### SOIL AMENDMENT NOTES

1. PRIOR TO SOIL AMENDMENT, THE SUB-GRASSES SHALL BE 6" BELOW FINISH GRADE TO ALLOW FOR THE FOLLOWING AMENDMENTS AND FERTILIZERS. THE LAYER OF SOIL AMENDMENTS SHALL BE 4" DEEP WITH A LAYER OF MULCH 3" DEEP AS SHOWN. LEAVING A HIGH GRADE BELOW THE AMENDMENTS THESE GRADES.
2. AMENDMENTS SHALL BE UNIFORMLY SPREAD AND THOROUGHLY CULTIVATED INTO THE TOP 3" OF SUB-GRADE. AREA WILL MAKE A BED OF APPROXIMATELY 6 INCHES TOTAL DEPTH OF AMENDED SOIL.
3. SOIL AMENDMENT 'C' PREPARED BACK FILL FOR TREES AND LARGE SHRUBS (3 GALLONS AND LARGER).
4. BACK FILL MIN. PRIOR TO BACK FILL PROVIDE TREE DRAIN AND GRAVEL.
5. TOPSOIL - 2" PART
6. SHARP SAND - 1" PART
7. SOIL AMENDMENT 'E' SOIL PREPARATION FOR LAWN AND GRASS AREAS.
8. PREPARE WEED CONTROL, ROUND-UP, TO BE APPLIED UNIFORMLY TO TREES FOR WEEDS. FLOW ALL INTERSECTIONS.
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#### LANDSCAPE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SOIL UTILITIES.
2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS ORDERED WHEN IT IS OBSERVED THAT UNKNOWN OBSTRUCTIONS AND/OR OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH OBSTRUCTIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AT (571)888-3030. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REPAIRS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH GENERAL CONTRACTOR AND SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS AND/OR WILLFULLY PROCEED WITH CONSTRUCTION WILL RESULT IN CONTRACTOR'S LIABILITY TO REDUCE THE LANDSCAPE.
5. ALL PLANTING MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF LANDSCAPE WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
7. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SHRUBS AND GROUND COVER AREAS IN A WEED-FREE, INTERESTING AND BEAUTIFUL CONDITION. ALL EXISTING GRASSES SHALL BE DUG OUT BY THE ROOTS AND REMOVED FROM THE SITE.
8. ALL PLANTING AREA SHALL SLOPE AWAY FROM BUILDINGS TOWARDS THE WALKS AT A MINIMUM 2% SLOPE.
9. FINISH GRADE SHALL BE 1" BELOW FINISH GRADE SURFACE IN ADVANCED LAWN AREA AND 1" IN SHRUB AREA. SOIL SOIL EXCAVATION MAY BE REQUIRED TO ACCOMPLISH FINISH GRADE. (SEE SOIL PREPARATION SPECIFICATIONS).
10. CROWN OF ALL PLANT ROOT SYSTEMS SHALL BE SLIGHTLY HIGHER AFTER SETTLING ADVANCED.
11. SEE DETAILS AND SPECIFICATIONS FOR STAKING AND CUTTING METHODS, PLANT SPECIFICATIONS AND MULCH FILL REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREES' STAKING FOR THE DURATION OF THE WARRANTY PERIOD.
12. SHRUBS, GROUND COVERS, AND SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPAN SHOWN ON PLANT LIST AND SHALL RECEIVE A 2" LAYER OF LAYER OF MULCH.
13. ALL GROUND COVERS TO BE HELD BACK 12" FROM EDGE OF SHRUB PLANTING AREAS AND 12" FROM EDGE OF PAVING. ALL PLANTING BEDS TO BE OWNED FROM SOIL WITH STEEL EDGING TYPICAL.
14. SEASONAL COLOR WILL BE SELECTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION TIME.
15. ALL TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM WALLS, HEADERS, WALLS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS AND/OR WILLFULLY PROCEED WITH CONSTRUCTION WILL RESULT IN CONTRACTOR'S LIABILITY TO REDUCE THE MATERIALS.

#### MAINTENANCE GENERAL CRITERIA

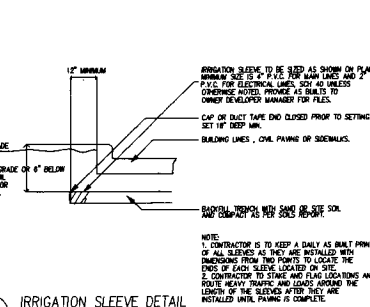
1. ALL LANDSCAPING AND RELATED MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE FOLLOWING STANDARDS SHALL BE REQUIRED.
2. ALL REQUIRED LANDSCAPING AREAS SHALL BE PERMANENTLY MAINTAINED AND SHALL BE IRRIGATED WITH AN AUTO-MATIC CONVENTIONAL IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSOR CONTROLS. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY LICENSED IRRIGATOR OR MASTER PLUMBER.
3. LANDSCAPE ISLANDS - SHALL BE IRRIGATED AS REQUIRED BY THIS SECTION. IRRIGATION OF ALL LANDSCAPED AREA ADJACENT TO ANY PARKING AND/OR DRIVING SURFACES SHALL BE INSTALLED SUCH THAT A MINIMUM AMOUNT OF WATER IS APPLIED TO PARKING AND/OR DRIVING SPACES.
4. IRRIGATION SYSTEMS MAY BE BURNED ON PUBLIC STREET RIGHT OF WAY, HOW EVER, THE CITY OR ANY FRANCHISED UTILITY WILL NOT BE RESPONSIBLE FOR DAMAGE TO ANY LANDSCAPING MATERIALS OR EQUIPMENT WHILE PERFORMED REPAIRS OF MAINTENANCE TO ITS SYSTEMS.
5. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS THAT ARE NOT PART OF THE LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS APPROPRIATE FOR THE SEASON OF THE YEAR. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATION, FERTILIZING, PRUNING, AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED.
6. PLANT MATERIALS WHICH DIE SHALL BE REPLACED BY THE OWNER WITHIN A SIX MONTH PERIOD WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

#### FERTILIZER

1. COLOR STAR ALL FLOWERING PLANTS
2. HYDRANGEA FERTILIZER ON ALL HYDRANGEA
3. CEDARROSE ALL BEDS
4. FERTILIZE NEW IRONITE SOO 20 DAYS AFTER INSTALLATION. ROLL SMOOTH
5. ADD AZALEA FERTILIZER ALL AZALEAS. SEE DETAIL THIS SHEET

#### SUPER THRIVE ALL TREES

1. USE SUPERTHRIVE ON ALL TREES OVER 2" CALIPER.
2. TWO APPLICATIONS PER DIRECTION ON BOTTLE MIN. 25 GALLONS PER INCH OF TREE IN EACH DRIP LINE.
3. THEIR WAIT ONE WEEK AND APPLY ONE MORE APPLICATION.



IRRIGATION SLEEVE DETAIL

#### LANDSCAPE LEGEND

1. 100 SQ FT L.A.
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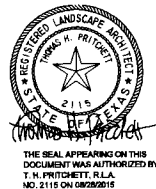
#### LANDSCAPE GRASS OPTION

1. BASE BID:
2. CONTRACTOR TO REVIEW TIME OF YEAR PLANTING AND SOIL TEMPERATURES. IF SEED WILL NOT GERMINATE DUE TO COLD WEATHER INCLUDE SOLID SOO FOR CERTIFICATE OF OCCUPANCY, BID AS ADD ALTERNATE #1.

#### TRACT 1 & TRACT 2 TOTAL CITY OF BRYAN, ARTICLE VII-LANDSCAPING

BUILDING SITE	REQUIRED	PROVIDED TRACT 1&2
(1) AREA REQUIREMENTS A. AN AREA EQUAL TO 15% OF THE DEVELOPED AREA SHALL BE LANDSCAPED.		
TOTAL GROSS AREA OF THE SITE TRACT 1 = 0.717 ACRES OR 31,250 SF TRACT 2 = 0.717 ACRES OR 31,250 SF TOTAL: 62,500 SQ FT	4,688 SQ FT 4,688 SQ FT 9,376 SQ FT	4,683 SQ FT 4,683 SQ FT 9,366 SQ FT 22%
B. NOT LESS THAN 50% OF THE AREA TO BE LANDSCAPED SHALL BE PLANTED IN TREES.	4,688 SQ FT	4,680 SQ FT
C. NOT LESS THAN 50% OF THE TREES PLANTED IN THE AREA SHALL BE CANOPY TREES.	2,344 SQ FT	2,400 SQ FT
(2) TREES A. TREES SIX (60 FEET) IN HEIGHT MIN. 1.5" CALIPER.	YES	1.5"-2.0" MIN. ALL CONTAINER
B. EXISTING TREES USED FOR CREDIT	NONE	NONE
C. SQUARE FEET OF COVERAGE FOR CONTAINER TREES	ALLOWED	NO 50 FT
1. EXISTING CANOPY TREES PROTECTED	220 SQ FT	12 2,400 SQ FT
2. NEWLY PLANTED CANOPY TREES 1.5"-3.0"	200 SQ FT	350 SQ FT
3. NEWLY PLANTED CANOPY TREE > 3.0"	100 SQ FT	100 SQ FT
4. EXISTING NON-CANOPY TREE PROTECTED	150 SQ FT	16 2,400 SQ FT
5. NEWLY PLANTED NON-CANOPY 1.5"-3.0"	225 SQ FT	
(3) SHRUBS AND PLANTING BEDS A. LESS THAN 2 GALLONS. B. 2 GALLONS UP TO 15 GALLONS C. 15 GALLONS AND LARGER	5 SQ FT 10 SQ FT 15 SQ FT	18 3 SQ FT 56 5 SQ FT 0 0 SQ FT
(4) GRASSES AND LIVE GROUND COVERS A. PER 100 SQ FT OF GRASS THIS AMOUNT SHALL NOT EXCEED 15 PERCENT OF THE OVERALL LANDSCAPING REQUIRED	10 SQ FT	13,346 1,335 SQ FT 14%
TOTAL SITE LANDSCAPE POINTS		6,143 SQ FT
B. PARKING AREAS (1) TREES REQUIRED FOR EVERY PARKING LOT END ISLAND MIN 2.0" CALIPER	YES	YES
(2) SHRUBS, GRASSES AND LIVE GROUND COVERS THE REMAINDER OF THE PARKING LOT SHALL BE FULLY LANDSCAPED	YES	YES
(3) SCREENING DECORATIVE WALL, EARTHEN BERM, OR AT LEAST 2 FOOT (24") IN HEIGHT, OR DOCKE SHRUBBERY EVERGREEN AT LEAST THREE (3) FEET IN HEIGHT IS REQUIRED ALONG STREET FRONTAGES AS FOLLOWS A. WHERE OUTDOOR PARKING WITHIN 50 FT. B. WHERE FUEL TANKS OR LOCATED C. WHERE VEHICLE DRIVE-UP WINDOWS FACE THE STREET.	YES YES	YES YES
(C) FREE STANDING ON-PREMISE SIGNS (1) LANDSCAPED AREA SHALL BE PROVIDED FOR AN AREA EXTENDING A MIN FOUR (4) FEET IN ALL DIRECTIONS (2) THE LANDSCAPE AREA SHALL BE COMPOSED OF MIN 50 PERCENT SHRUBS AND REMAINING LIVE GRASS.		
(D) GENERAL (1) TREES RECOMMENDED FOR USE IN THE BRAZOS VALLEY ARE IDENTIFIED ON THE TREE SPECIES LIST. (2) ALL REQUIRED LANDSCAPING SHALL BE IRRIGATED BY EITHER AND UNDER GROUND IRRIGATION SYSTEM OR A HOSE ATTACHMENT WITHIN 150 FEET OF ALL LANDSCAPING. (3) ALL LANDSCAPING SHALL COMPLY WITH THE SIGHT DISTANCE REQUIREMENTS AS DEFINED IN ARTICLE VI.		

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2015064  
ISSUE DATE: 08/28/2015  
SHEET  
**L1-01**

No.	Revision/Issue	Date

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TBP# No.: F-8184

BRYAN FAMILY DOLLAR STORE  
DEVELOPMENT  
CITY OF BRYAN, TX, BRAZOS CT.  
**LANDSCAPE PLAN**

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
T.H. PRITCHETT, R.L.A.  
NO. 12185 ON 08/28/2015

# LANDSCAPE SPECIFICATIONS

SECTION 02900

## PART 1 GENERAL

### 1.1 REFERENCED DOCUMENTS

- REFER TO BIDDING REQUIREMENTS, SPECIAL PROVISIONS, AND SCHEDULES FOR ADDITIONAL REQUIREMENTS.

### 1.2 DESCRIPTION OF WORK

- WORK INCLUDED: FURNISH ALL SUPERVISION, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN THE SPECIFICATIONS AND LANDSCAPE PLANS, INCLUDING:
  - PLANTING: TREES, SHRUBS, GROUND COVERS, PERENNIALS, GRASS
  - BED PREPARATIONS AND FERTILIZATION
  - NOTIFICATION OF SOURCES OF PLANT MATERIALS AND AMENDMENTS
  - WATER AND MAINTENANCE UNTIL FINAL ACCEPTANCE
  - GUARANTEE PERIOD DESCRIBED ON DRAWINGS

### 1.3 REFERENCE STANDARDS

- AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, OCTOBER 27, 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC. (Z60.1) - PLANT MATERIALS
- AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE - ADDITION 1942 EDITION, STANDARDIZED PLANT NAMES
- TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS
- HORTIS THIRD 1976 - CORNELL UNIVERSITY

### 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- THE CONTRACTOR SHALL, WITHIN TEN (10) DAYS FOLLOWING ACCEPTANCE OF BID, NOTIFY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER OF THE SOURCES OF PLANT MATERIALS AND BED PREPARATION REQUIRED FOR THE PROJECT.
- SAMPLES: PROVIDE REPRESENTATIVE QUANTITIES OF SANDY LOAM SOIL, MULCH, BED MIX MATERIAL, PEA GRAVEL, DRAIN GRAVEL, DECOMPOSED GRANITE, STEEL EDGING, HARDWOOD MULCH, JUTE MESH, SOIL SEPARATOR, STONE, NOTED ON DRAWINGS. SAMPLES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER BEFORE USE ON THE PROJECT.
- PRODUCT DATA: SUBMIT COMPLETE PRODUCT DATA AND SPECIFICATION ON ALL OTHER SPECIFIED MATERIALS.
- SUBMIT THREE REPRESENTATIVE SAMPLES, .JPG FILE PHOTOGRAPHS, OF EACH VARIETY OF LARGE TREES, ORNAMENTAL TREES, SHRUBS, GROUND COVER, PERENNIALS FOR LANDSCAPE ARCHITECT/ENGINEER/OWNER APPROVAL. WHEN APPROVED, TAG, INSTALL, AND MAINTAIN AS REPRESENTATIVE SAMPLES FOR THE PROJECT.
- E. FILE CERTIFICATES OF INSPECTION OF PLANT MATERIAL BY STATE, COUNTY, AND FEDERAL AUTHORITIES WITH LANDSCAPE ARCHITECT/ENGINEER/OWNER, IF REQUIRED.
- F. SOIL ANALYSIS: AN EXISTING SOIL ANALYSIS FROM THE SITE ON THE RECOMMENDATIONS ON AMENDING THE SOIL BY A LICENSED SOILS AND PLANT LAB. PROVIDED SOILS ANALYSIS TO LANDSCAPE ARCHITECT/ENGINEER/OWNER.

### 1.5 JOB CONDITIONS

- GENERAL CONTRACTOR TO COMPLETE THE FOLLOWING PUNCH LIST: PRIOR TO THE LANDSCAPE CONTRACTOR INITIATING ANY PORTION OF THE LANDSCAPE INSTALLATION, GENERAL CONTRACTOR SHALL LEAVE PLANTING BED AREAS THREE (3) INCHES BELOW FINISHED GRADE OF SIDEWALKS, DRIVES, AND CURBS AS SHOWN ON THE DRAWINGS. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE (1") INCH BELOW THE FINISHED GRADE AT SIDEWALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
  - GENERAL CONTRACTOR SHALL PROVIDE TOPSOIL AS DESCRIBED IN SECTION 02200 - EARTHWORK.
  - STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CAN NOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.
- 1.6 MAINTENANCE AND GUARANTEE
- THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER. NO TREES, SHRUBS, GROUND COVERS OR GRASS TO BE ACCEPTED UNLESS THEY SHOW A HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITION.
  - MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEEDING, SPRAYING, PRUNING OF TREES AND SHRUBS, MOWING OF GRASS WEEKLY, SITE LANDSCAPE BED MULCHING, DEBRIS AND TRASH CLEANING UP WEEKLY AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
  - WRITTEN NOTICE REQUESTING FINAL INSPECTION AND FINAL ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST SEVEN (7) DAYS PRIOR TO COMPLETION. AN ON-SITE INSPECTION BY THE OWNER AND LANDSCAPE CONTRACTOR WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
  - AFTER FINAL ACCEPTANCE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR WILL NOT BE REQUIRED TO DO ANY OF THE ABOVE MAINTENANCE WORK AS PART OF THESE PLANS.
- B. GUARANTEE
- TREES SHALL BE GUARANTEED FOR TWELVE (12) MONTH PERIOD AFTER FINAL ACCEPTANCE. SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF TWELVE (12) MONTHS AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD PLANT MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER. PLANTS, INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE, OR SYMMETRY HAS BEEN DAMAGED, SHALL BE CONSIDERED SUBJECT TO REPLACEMENT UNDER THE GUARANTEE PERIOD. IN ANY AND ALL CASES THE FINDINGS OF THE OWNER OR OWNER REPRESENTATIVE SHALL BE FINAL.
  - PLANTS USED AS REPLACEMENT SHALL BE OF SAME KIND AND SIZE AS THOSE ORIGINALLY PLANTED AND SHALL BE PLANTED AS ORIGINALLY SPECIFIED, UNLESS APPROVED BY THE OWNER AND ALLOWED ON THE CITY APPROVED LANDSCAPE PLAN MATERIAL LIST. ALL WORK, INCLUDING DEMOLITION OF DEAD PLANTS, MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS, SHALL CARRY A TWELVE (12) MONTH GUARANTEE FROM TIME OF COMPLETION. THE OWNER'S REPLACEMENTS, ANY DAMAGE, INCLUDING RUTS IN LAWN OR BED AREAS, INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
  - AT THE DIRECTION OF THE OWNER, PLANTS MAY BE REPLACED AT THE START OF THE NEXT YEAR'S PLANTING SEASON. IN SUCH CASES, DEAD PLANTS SHALL BE REMOVED FROM THE PREMISES WITHIN TEN (10) DAYS OF NOTIFICATION BY THE OWNER.
  - WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE TO BE INCLUDED UNDER "WORK" OF THIS SECTION.
  - THE OWNER AGREES THAT FOR THE GUARANTEE TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS AND CULTIVATE BEDS ONCE A MONTH AFTER FINAL ACCEPTANCE.
  - THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER FINAL ACCEPTANCE BECAUSE OF INJURY BY STORMS, HEAT STRESS, HAIL, FREEZE, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES OR THEFT.
  - ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER PROVIDED THE JOB IS IN A COMPLETED, UNDAMAGED CONDITION, AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THIS TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

### 1.7 QUALITY ASSURANCE

- GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
- PERSONNEL: EMPLOY ONLY EXPERIENCED PERSONNEL WHO ARE FAMILIAR WITH THE REQUIRED WORK. PROVIDE FULL-TIME SUPERVISION BY QUALIFIED FOREMAN ACCEPTABLE TO LANDSCAPE ARCHITECT/ENGINEER/OWNER.
- SELECTION OF PLANT MATERIALS:
  - MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL INSURE THE PURCHASED MATERIALS WILL MEET AND OR EXCEED PROJECT SPECIFICATIONS.
  - LANDSCAPE ARCHITECT/ENGINEER WILL PROVIDE A KEY IDENTIFYING EACH TREE LOCATION ON SITE. WRITTEN VERIFICATION WILL BE REQUIRED TO DOCUMENT MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.
  - OWNER AND LANDSCAPE ARCHITECT/ENGINEER SHALL INSPECT ALL PLANT MATERIALS, WHEN REASONABLE AT PLACE OF GROWTH FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, CULTIVAR/VARIETY, SIZE, AND QUALITY.
  - OWNER AND/OR LANDSCAPE ARCHITECT/ENGINEER RETAINS THE RIGHT TO FURTHER INSPECT ALL PLANT MATERIALS UPON ARRIVAL AT THE SITE AND DURING INSTALLATION FOR SIZE AND CONDITION OF ROOT BALLS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, AND LATENT DEFECTS.
  - OWNER AND/OR LANDSCAPE ARCHITECT/ENGINEER MAY REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE PROCESS OF WORK. REMOVE REJECTED MATERIALS FROM THE SITE IMMEDIATELY. PLANTS DAMAGED IN TRANSIT OR AT JOB SITE SHALL BE REJECTED.

### 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- PREPARATION:
  - BALLED AND BURLAPPED (B&B) PLANTS: DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
  - CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE PROTECT ROOT MASS.
- DELIVERY:
  - DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETEIORATION DURING DELIVERY.
  - DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON JOB SITE.
  - PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
  - PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICCATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
  - NOTIFY LANDSCAPE ARCHITECT/ENGINEER/OWNER OF DELIVERY SCHEDULE 72 HOURS IN ADVANCE SO PLANT MATERIAL MAY BE OBSERVED UPON ARRIVAL AT JOB SITE.
  - REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM SITE.
  - TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

## PART 2 - PRODUCTS

### 2.1 PLANTS

- GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF ROOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT, NOT TO THE OUTER LEAF TIPS. PLANTS WILL BE INDIVIDUALLY APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER AND THAT DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- QUANTITIES: THE DRAWINGS AND SPECIFICATIONS AND COMPLEMENTARY: ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS A BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON THE PLAN.
- QUALITY AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL SHAPED, FULL BRANCHED, AND WELL ROOTED. THE PLANTS SHALL BE FREE FROM INJURIOUS INSECTS, DISEASES, INJURIES TO THE BARK OR ROOTS, BROKEN BRANCHES, OBJECTIONABLE DISFIGUREMENTS, INSECT EGGS AND LARVAE AND ARE TO BE SPECIMEN QUALITY.
- TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED, AND SHALL MEET THE TRUNK DIAMETER AND HEIGHT REQUIREMENTS OF THE PLANT SCHEDULE. BALLED AND BURLAPPED SHALL BE FIRM, NEAT, SLIGHTLY TAPERED, AND WELL WRAPPED IN BURLAP. ANY TREE LOOSE IN THE BALL OR WITH BROKEN BALL AT TIME OF PLANTING WILL BE REJECTED. BALLS SHALL BE TEN (10") INCHES IN DIAMETER FOR EACH ONE (1") INCH OF TRUNK DIAMETER, MEASURED SIX (6") INCHES ABOVE THE TOP OF BALL.
- NOMENCLATURE CONFORMS TO CUSTOMARY NURSERY USAGE. FOR CLARIFICATION, THE TERM "MULTI - TRUNK" DEFINES A PLANT HAVING THREE (3) OR MORE TRUNKS OF NEARLY EQUAL DIAMETER. TO CALCULATE THE TOTAL CALIPER OF MULTI TRUNK TREES, ADD THE CALIPER OF THE LARGEST TRUNK IN INCHES TO THE REMAINING CALIPER IN INCHES DIVIDED BY 2. THEN ADD THAT TOTAL CALIPER INCHES OF TRUNKS FOR THE TOTAL SPECIFIED CALIPER INCHES PROVIDED ON THE MULTI - TRUNK PLANT.
- PRUNING: ALL PRUNING OF TREES AND SHRUBS, AS DIRECTED BY LANDSCAPE ARCHITECT/ENGINEER, SHALL BE EXECUTED BY LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

### 2.2 SOIL PREPARATION MATERIALS

- SANDY LOAM:
  - FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, GRASS, STONES OVER ONE (1") INCH AND OTHERS EXTRANEIOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASS. LUMPS CONTAINING DALLAS GRASS OR NUT GRASS SHALL BE REJECTED.
- PHYSICAL PROPERTIES AS FOLLOWS:
  - CLAY - BETWEEN 7-27 PERCENT
  - SILT - BETWEEN 15-25 PERCENT
  - SAND - LESS THEN 52 PERCENT
- ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
- IF REQUESTED, PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT THE SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF BOX VEGETATIVE MATTER AND 20% ANIMAL WASTE INGREDIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIALS.
- PREMIED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADEWATER, TEXAS: PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACO GPO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
- SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN, LIVING EARTH TECHNOLOGY OR APPROVED EQUAL.
- ORGANIC FERTILIZER: SUSTANE, FERTILAD, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SOU OR UF) WITH A MINIMUM OF 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
- COMMERICAL SPAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

### 2.3 MISCELLANEOUS MATERIALS

- STEEL EDGING: SHALL BE RYERSON "ESTATE CURBING", DARK GREEN, 1/8" X 4" WITH STAKES FOUR (4") FEET ON CENTER OR APPROVED EQUAL.
- TREE STAKING MATERIAL FOR SHADE TREES:
  - POST: STUDDER "T"-POST, NO. 1 ARMOX WITH ANCHOR PLATE, SIX (6") FEET IN LENGTH. PAINT FLAT BLACK. PROVIDE 100% UV PROTECTION.
  - WIRE: 12 GAUGE, SINGLE STRAND, GALVANIZED WIRE.
  - RUBBER HOSE: 2 PLY, FIBER REINFORCED HOSE, MINIMUM HALF (1/2") INCH INSIDE DIAMETER, COLOR BLACK.
- GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED ONE (1") INCH TO ONE AND HALF (1 1/2") INCH DEPTH.
- FILTER FABRIC: MIRAFIL 140N CELANESE FIBERS MARKETING COMPANY, AVAILABLE AT CMC REBAR CO., (214)-631-5250 OR AS APPROVED.

## PART 3 - EXECUTION

### 3.1 BED FERTILIZER AND FERTILIZATION

- LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE LANDSCAPE ARCHITECT/ENGINEER/OWNER.
- ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
  - PREPARE NEW PLANTING BED BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. IN ADDITION AT BACK OF CURBS AND EDGES OF PAVING REMOVE THE EXISTING SOIL TO A DEPTH OF SIX (6") INCHES TO ALLOW FOR THE AMENDMENTS, THEN TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO FERTILIZER AND COMPOST APPLICATION. FINAL CONDITION OF EXISTING SOIL TO BE FINE, FRIABLE, CONSISTENT DEPTH, AND FREE OF ROCKS AND ROOTS AND ALL CLODS WHEN COMPLETELY TILLED. APPLY FERTILIZER AS PER MANUFACTURER RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF EXISTING SOIL. APPLY ORGANIC FERTILIZER SUCH AS SUSTANE OR GREEN SENSE AT THE RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET.
  - ALL PLANTING BED AREAS SHALL RECEIVE A THREE (3") INCH LAYER OF SPECIFIED MULCH.
  - BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE, FREE FROM LARGE CLUMPS, ROCK, DEBRIS, CAULICE, SUBSOIL, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- GRASS AREA:
  - AREAS TO BE SOLID SOD GRASS TYPES SPECIFIED; BLOCKS OF SOD SHOULD BE LAID END TO END (WITH STAGGERING JOINTS) AFTER FERTILIZING THE GROUND FIRST. WATER AND ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. ROLLING IS TO BE COMPLETED WITHIN 24 HOURS OF INSTALLING THE SOD. THE LANDSCAPE ARCHITECT/ENGINEER/OWNER MAY REQUEST ADDITIONAL ROLLING BY THE LANDSCAPE CONTRACTOR OVER GRASS AREAS TO ACHIEVE THE FINAL SMOOTH SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOP SOIL, WHERE THEY ARE EVIDENTLY GAPS. THEN WATERED THOROUGHLY.
  - AREAS TO BE HYDRO MULCHED GRASS SEED: HYDRO MULCH WITH SPECIFIED SEED OR COMMON BERBERIA GRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET. USE A FOUR (4") FOOT X EIGHT (8") FOOT BATTER BOARD AGAINST BED AREAS TO REDUCE OVER SPRAY.

### 3.2 INSTALLATION

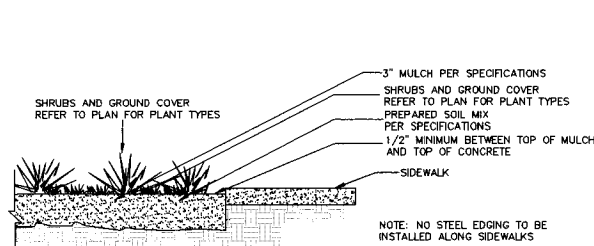
- MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.
- PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM DRYING WINDS DURING TRANSIT. ALL PLANTS, WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO SITE, SHALL BE WELL PROTECTED AGAINST POSSIBILITY OF DRYING BY WIND AND SUN. BALLS OF PLANTS OF B & B PLANTS SHALL BE KEPT COVERED WITH SAWDUST OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- NOTIFY THE LANDSCAPE ARCHITECT/ENGINEER FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OR EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT, WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATION TO THE FINISH GRADE THAT IT DID TO SOIL SURFACE IN PLACE OF GROWTH. NOTE TO ALLOW AS MUCH AS TWO (2") FEET FOR SETTLEMENT IN CLAY SOIL.
- SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO (2") FEET, TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS OR STONES OR DEBRIS OF ONE (1") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING FROM CONTAINERS.
- DIG A WIDE, ROUGH SIDED HOLE EXACTLY THE SAME DEPTH AS THE HEIGHT OF THE BALL, ESPECIALLY AT THE SURFACE OF THE GROUND. THE SIDES OF THE HOLE SHOULD BE ROUGH AND JAGGED, NEVER SLOK OR GLAZED. DO NOT DRILL OR AUGER HOLES IN CLAY SOILS.
- PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN TWENTY FOUR (24) HOURS, THE TREE NEEDS TO BE MOVED TO ANOTHER LOCATION OR HAVE TWO FOUR (4") FOOT DEEP PIER HOLE DRAINAGE ADDED.
- BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND ONE (1) PART BED PREPARATION. WHEN HOLE IS DUG IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE THIRD OF THE BALL, AS WELL AS THE NYLON, PLASTIC STRING AND WIRE MESH FROM THE BURLAP. BE AWARE OF SOIL PLACED ON TOP OF THE ROOT BALL DURING DIGGING. THIS SOIL TO BE REMOVED ALONG WITH ANY GRASS, WEEDS, WAXES TO EXPOSE THE ROOT FLARE AND NATIVE TOP SOIL.
- DO NOT WRAP TREES.
- DO NOT PRUNE TREES UNLESS DIRECTED BY LANDSCAPE ARCHITECT/ENGINEER.
- MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TREE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL UNPLANTED AND MULCH WITH AT LEAST THREE (3") INCHES OF SPECIFIED AND APPROVED MULCH.

## 3.2 INSTALLATION (CONTINUED)

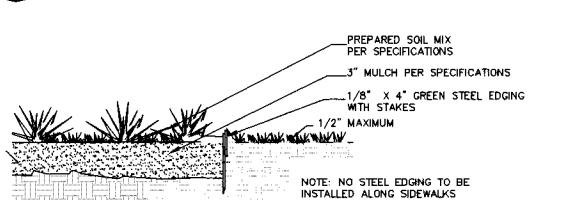
- ALL PAINT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF THREE (3") INCHES OVER THE ENTIRE BED OR PIT.
- OBSTRUCTION BELOW GROUND: IN THE EVENT ROCK OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER. WHERE LOCATIONS CAN NOT BE CHANGED, THE OBSTRUCTION SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW BOTTOM OF THE BALL WHEN PLAN IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREE AGAINST SEASONAL WINDS. LANDSCAPE CONTRACTOR TO INSPECT AND MAINTAIN STAKES IN A SECURED CONDITION DURING CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- PRUNING AND MULCHING: EACH AREA SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AND IN THE MANNER FITTING ITS USE IN THE LANDSCAPE DESIGN.
- DEAD WOOD OR SUCKERS AND BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED: GENERAL TIPPING OF ALL BRANCHES IS NOT PERMITTED.
- PRUNING SHALL BE DONE WITH CLEAN SHARP TOOLS.
- IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH LAYER OF SPECIFIED MULCH THREE (3") INCHES IN DEPTH. THIS LIMIT OF SPECIFIED MULCH FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT. ALLOW A SPACE OF THREE (3") INCHES FROM TREE BARK TO THE MULCHED SURFACE.
- STEEL CURBING INSTALLATION:
  - CURBING SHALL BE ALIGNED AS INDICATED ON DRAWINGS.
  - ALL STEEL CURBING SHALL BE FREE OF KINKS OR ABRUPT BENDS.
  - TOP OF STEEL CURBING SHALL BE ONE (1") HIGHER THAN EXISTING GRADE.
  - STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.
  - DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR BACK OF CURBS.
  - CUT AN EDGE ON THE STEEL CURBING AT 45 DEGREE ANGLE, WHERE EDGING MEETS PAVING EDGES. FILE EDGES CUT TO BE ROUND, SMOOTH AND NOT SHARP.

## 3.3 CLEANUP AND FINAL ACCEPTANCE

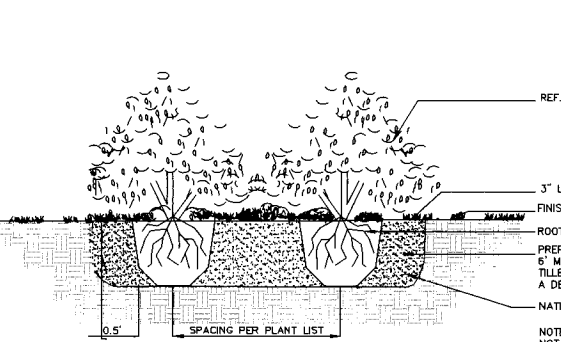
- CLEANING: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREA FOR ALL MATERIALS SHALL BE ORGANIZED THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING AT END OF EACH DAY'S WORK.
- ON LEED APPLIED FOR OR PROJECTS TO BE LEED CERTIFIED COORDINATE WITH THE GENERAL CONTRACTOR FOR ACCEPTABLE DISPOSAL OF TRASH, WASTE, AND EXCESS PLANT MATERIALS. FERTILIZERS SO AS RECYCLE CREDITS MAYBE TRACKED BY VOLUME.



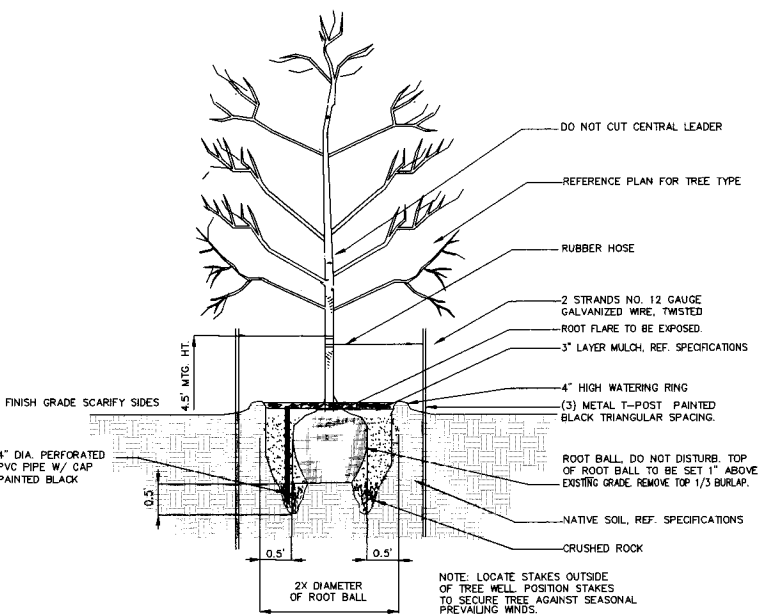
## 1 SIDEWALK / MULCH DETAIL



## 2 STEEL EDGING DETAIL



## 3 SHRUB / GROUNDCOVER DETAIL



## 4 TREE PLANTING DETAIL

No.	Revision/Issue	Date

CLIENT ADDRESS  
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35 JASPER PLACE  
THE WOODLAND, TEXAS 75089  
JAN GUN  
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ENGINEERING, INC.  
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TBE# No. : F-9184

BRYAN FAMILY DOLLAR STORE  
DEVELOPMENT  
CITY OF BRYAN, TX, BRAZOS CT.  
LANDSCAPE SPEC'S & DETAILS

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THP  
DHR JOB No.  
2015064  
ISSUE DATE: 07/10/2015  
SHEET  
L1-02